

AGENDA

Grand Haven Charter Township Planning Commission
Thursday, May 28, 2020 – 6:00 p.m.
(after the ZBA meeting adjourns)
Remote Electronic Meeting

According to the Attorney General, interrupting a public meeting in Michigan with hate speech or profanity could result in criminal charges under several State statutes relating to Fraudulent Access to a Computer or Network (MCL 752. 797) and/or Malicious Use of Electronics Communication (MCL 750.540). According to the US Attorney for Eastern Michigan, Federal charges may include disrupting a public meeting, computer intrusion, using a computer to commit a crime, hate crimes, fraud, or transmitting threatening communications. Public meetings are monitored, and violations of statutes will be prosecuted.

- I. Call to Order
- II. Roll Call
- III. Review of “Guidelines for Virtual Meetings”
- IV. Approval of the March 2, 2020 Planning Commission Meeting Minutes
- V. Correspondence
- VI. Brief Public Comments & Questions (Limited to 3 minutes)
Please go to <http://www.ghet.org/boards/meeting-packets/> to view the complete packet for tonight's Planning Commission meeting. If you would like to comment on an Agenda Item Only, you may now submit your comments via Facebook Live stream found at <https://www.facebook.com/GHTownship/>; email sfedewa@ghet.org; or call (616) 260-4982 when prompted. Comments through the phone are limited to three (3) minutes.
- VII. New Business
 - A. Site Plan Review – Clovernook Multi-Family Building – Allen Edwin
 - B. Site Plan Review – Warehouse in Overlay Zone – Grand Haven Custom Molding
 - C. Minor PUD Amendment – Change of Signage – Lakeshore Flats Apartments
- VIII. Reports
 - A. Staff Report
 - Master Plan 5-Year Review & Update Future Land Use Map
 - Board Resolution – Outdoor Dining – Admin Approval Only
 - Westlake Environmental – Reduced Footprint
 - Shoreline Center – Under Construction
 - B. Other
- IX. Extended Public Comments & Questions (Limited to 4 minutes)
If you would like to comment on a Non-Agenda Item, you may now submit your comments via Facebook Live stream found at <https://www.facebook.com/GHTownship/>; email sfedewa@ghet.org, or call (616) 260-4982 when prompted. Comments through the phone are limited to four (4) minutes.
- X. Adjournment

MEETING MINUTES
GRAND HAVEN CHARTER TOWNSHIP
PLANNING COMMISSION
MARCH 2, 2020

I. CALL TO ORDER

Cousins called the meeting of the Grand Haven Charter Township Planning Commission to order at 7:00 pm.

II. ROLL CALL

Members present: Cousins, Wilson, Kieft, Taylor, Chalifoux, Wagenmaker, Reenders, and Hesselsweet

Members absent: LaMourie

Also present: Community Development Director Fedewa, Associate Planner Hoisington, Building Official Corbat

Without objection, Cousins instructed Hoisington to record the minutes.

III. PLEDGE TO THE FLAG

IV. APPROVAL OF MINUTES

Without objection, the minutes of the December 2, 2019 meeting were approved.

V. CORRESPONDENCE – None

VI. PUBLIC COMMENTS – None

VII. NEW BUSINESS

A. Discussion – Grand Haven Custom Moldings

Fedewa provided an overview of questions through a memorandum dated February 27th. The applicant and project engineer, Steve Witte of Nederveld, presented points of discussion for the Planning Commission to review:

- Proposal to locate loading docks in front yard.
 - Zoning Ordinance prohibits loading docks in the front yard.
 - Applicant believes the front yard designation is not accurate.
 - The proposed building location is very far from the road, because of distance and screening from the adjacent properties there would be very little of the docks visible from the road.
- Required architectural standards.
 - The property is a flag lot with the proposed building, landscaping, and retention basin all being far from the road. Because of this, the applicant suggested the design standards are not applicable to this property.

- Only part of the building will be visible from the road, so the applicant is requesting the Commission reduce the architectural requirements. The elevations show a 3'-4' strip of masonry along the west side of the building as a feature.
- Fedewa provided graphics to aid Commissioners in reviewing the visible area as seen from 172nd Avenue.
- Naturally shaped stormwater basin.
 - Changing the shape of the stormwater basin to create a more natural look would force the basin to expand outwardly in order to maintain the size needed for the site. This would affect the proposed parking for the possible future addition. Trying to preserve the landmark trees would add to the difficulty of maintaining the size of the basin.
 - Noted the difficulty with the elevation of the basin as it is intended to be a dry detention basin. Lowering the bottom of the basin would create a swamp-like area. The elevation is also needed for draining into the nearby county drain.
 - Staff suggested implementation of raingardens to aid with the loss of volume for the basin.
 - Questioned the possibility of increasing the slope to a steeper 4:1 ratio to increase volume.
- Preservation of the existing concrete block wall.
 - Keeping the existing wall would help provide screening for the building from adjacent properties. The majority of the wall would be hidden from view by the proposed building.
 - It would be costly to remove the wall from the property.
- Noted the lighting plan will be changed to comply with the Township ordinance.

These topics were discussed by the Commissioners and focused on the following:

- Stated any challenge to the definition of a front yard or how the Zoning Administrator identified the yards must be brought to the ZBA.
- A variance request must be brought to the ZBA for the proposed location for the loading docks prior to review by the Planning Commission. The Planning Commission will not provide further guidance on the matter until a variance request has been decided upon.
- The proposed design on the plans is not sufficient and need the applicant to show a true effort to comply with the ordinance. The Planning Commission is willing to reduce the requirements based on what is visible from 172nd Avenue. Commissioners suggested the horizontal strip of masonry would likely be obstructed from view and recommended vertical detailing instead.
 - Staff made suggestions of window details, cupolas, and contrast trim as ideas.
- The Planning Commission confirmed the landmark trees as needing to be saved during construction. Suggested that the preservation could help create a more natural shape for the basin.

- A more natural design for the basin is needed.
 - Fedewa suggested a request for a variance be submitted the ZBA if the applicant is interested in pursuing a steeper slope than the ordinance allows.

VIII. OLD BUSINESS

A. Review Board Amendments to New Zoning Ordinance

Fedewa provided an overview of proposed changes to the Zoning Ordinance through a memorandum dated February 27th.

The Planning Commission offered the following comments:

- Agree to remove the section requiring a 200 foot setback for Lake Michigan properties, and allow the State of Michigan to regulate. Also removed the section for Township regulation for seawalls, will allow the State of Michigan to regulate.
 - Possible to review the regulations at a future time when lakeshore erosion is not as prevalent.
- Allow for accessory buildings to be placed in the front yard of waterfront properties as a special land use.
 - There will be no maximum size allowance, it will be reviewed as part of the special land use.
- Agree to amend the definition of “Building Height” to match the building code definition.
 - Building Official Corbat explained the effect of the change will allow buildings to appear taller because less of the structure will be below grade.
- Amend the proposed change to the definition of “Hospital” to eliminate the sentence “Hospital does not include a mental health hospital licensed or operated by the department of health and human services or a hospital operated by the department of corrections.”
- Accept the proposed changes to the curb requirements to allow for mountable/rolled curbs.
- Agree with the change in language in the PUD chapter to encourage a wide variety of housing types. The change would alter the phrase “2-4 dwelling units” to “at least 2 dwelling units.”
- Agree to remove the Short Term Rental regulations from the ordinance. The policy language needs to be drafted by the Board first and then will be reinserted into the Zoning Ordinance and adopted.

The Planning Commission directed staff to bring the recommended revisions to the Township Board.

Motion by Reenders, supported by Taylor, to **approve** the revisions and recommend the Township Board hold its Second Reading on March 9th to adopt the New Zoning Ordinance and Map. **Which motion carried unanimously.**

IX. REPORTS

A. Staff Report

- Spring Lake Village Planning Services Contract

- i. Fedewa and Hoisington have been hired on a contractual basis to serve as planners for the Village of Spring Lake. Staff will hold office hours at the Village and work approximately 4-6 hours a week.

➤ Updated Formatting to Zoning Ordinance

- i. Fedewa provided an update on the formatting of the Ordinance. Staff have been in contact with the Consultant regarding the formatting in the Zoning Ordinance to add more graphics and tables to make the documents more user friendly. Staff has contacted the Township Attorney to verify if the formatting changes will require formal adoption.

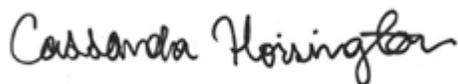
B. Other – None

X. EXTENDED PUBLIC COMMENTS – None

XI. ADJOURNMENT

Without objection, the meeting adjourned at 8:10 pm.

Respectfully submitted,



Cassandra Hoisington
Acting Recording Secretary



Community Development Memo

DATE: May 22, 2020
TO: Planning Commission
FROM: Cassandra Hoisington – Associate Planner
RE: Clovernook Multi-Family Dwelling – Site Plan Review

BACKGROUND

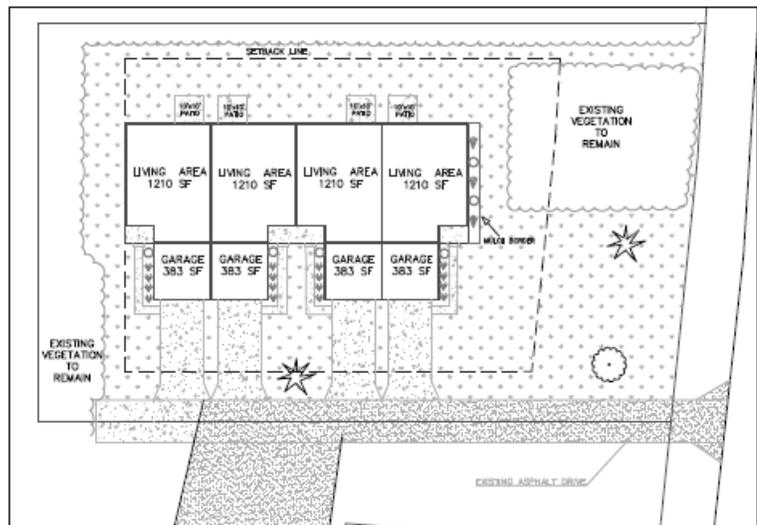
The applicant, Westview Capital, LLC (*i.e. Allen Edwin Homes*), is seeking approval to construct a quadplex residential development on a vacant lot located on Clovernook Drive (Parcel # 70-03-27-452-045). This property is zoned R-3 Multi-Family, which allows multi-family developments as a use permitted by right. Even though it's a use by right, the Site Plan Review chapter still requires the Planning Commission to approve. The requirements are simple and straight forward, and itemized on the next page of this memo.

PROJECT DETAILS

The proposed project would consist of four attached units designed like a ranch style home. Each of the units will have approximately 1,200 sqft of living space with two bedrooms and feature an attached two stall garage. The applicant is not pursuing a higher density development due to deed restrictions on the property.

The development will be serviced by municipal water and a private septic system. The applicant has already been in contact with the Health Department for the septic permit.

The developer intends to maintain ownership of the property while renting units to residents. A property management company will maintain the building exterior and landscaping.



SITE PLAN REVIEW REQUIREMENTS

This table summarizes the requirements and identifies the level of compliance determined by staff:

Provision	Compliance
Minimum lot size of 7,500 square feet	Meets standard
One unit allowed per 3,250 square feet in lot size	Meets standard
Setback requirement of 50' front yard, 30' rear yard, and 15' side yard	Meets standard
Maximum Lot Coverage of 40%	Meets standard
Access drive to site provided and approved by OCRC	Meets standard
1 tree provided per 500 sqft of non-paved surface	Meets standard
All proposed planted species native to Michigan	Meets standard
Off street parking for one vehicle per dwelling	Meets standard
Fully shielded lighting fixtures	Meets standard
Appropriate water connection and septic system	Meets standard



SAMPLE MOTIONS

If the Planning Commission finds the application meets the standards, the following motion can be offered:

Motion to approve the Westview Capital Site Plan Review application for a multi-family dwelling development located at Parcel # 70-03-27-452-045 based on it meeting the requirements set forth by the Grand Haven Charter Township Zoning Ordinance. This motion is subject to, and incorporates, the following report.

If the Planning Commission finds the application does not meet the applicable standards, the following motion can be offered:

Motion to deny the Westview Capital Site Plan Review application, and direct staff to draft a formal motion and report for those discussion points which will be reflected in the meeting minutes. This will be reviewed and considered for adoption at the next meeting.

If the Planning Commission finds the applicant must make revisions to the application, the following motion can be offered:

Motion to table the Westview Capital Site Plan Review application, and direct the applicant to make the following revisions:

1. *List the revisions.*

Please contact me prior to the meeting with questions or concerns.

REPORT (TO BE USED WITH A MOTION FOR APPROVAL)

1. The application meets the site plan review standards of Section 18.07.G of the Zoning Ordinance. Specifically, the Planning Commission finds as follows:
 - A. The uses proposed will not adversely affect the public health, safety, or welfare. Uses and structures located on the site take into account topography, size of the property, the uses on adjoining property and the relationship and size of buildings to the site.
 - B. The site will be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this ordinance.
 - C. Safe, convenient, uncontested, and well defined vehicular and pedestrian circulation is provided for ingress/egress points and within the site. Drives, streets and other circulation routes are designed to promote safe and efficient traffic operations within the site and at ingress/egress points.
 - D. The arrangement of public or private vehicular and pedestrian connections to existing or planned streets in the area are planned to provide a safe and efficient circulation system for traffic within the township.
 - E. Removal or alterations of significant natural features are restricted to those areas which are reasonably necessary to develop the site in accordance with the requirements of this Ordinance. The Planning Commission has required that landscaping, buffers, and/or greenbelts be preserved and/or

provided to ensure that proposed uses will be adequately buffered from one another and from surrounding public and private property.

- F. Areas of natural drainage such as swales, wetlands, ponds, or swamps are protected and preserved insofar as practical in their natural state to provide areas for natural habitat, preserve drainage patterns and maintain the natural characteristics of the land.
- G. The site plan provides reasonable visual and sound privacy for all dwelling units located therein and adjacent thereto. Landscaping shall be used, as appropriate, to accomplish these purposes.
- H. All buildings and groups of buildings are arranged so as to permit necessary emergency vehicle access as requested by the fire department.
- I. All streets and driveways are developed in accordance with the Ottawa County Road Commission specifications, as appropriate.
- J. Appropriate measures have been taken to ensure that removal of surface waters will not adversely affect neighboring properties or the public storm drainage system. Provisions have been made to accommodate stormwater, prevent erosion and the formation of dust.
- K. Exterior lighting is arranged so that it is deflected away from adjacent properties and so it does not interfere with the vision of motorists along adjacent streets, and consists of sharp cut-off fixtures.
- L. All loading and unloading areas and outside storage areas, including areas for the storage of trash, which face or are visible from residential districts or public streets, are screened.
- M. Entrances and exits are provided at appropriate locations so as to maximize the convenience and safety for persons entering or leaving the site.
- N. The site plans conform to all applicable requirements of County, State, Federal, and Township statutes and ordinances.
- O. The general purposes and spirit of this Ordinance and the Master Plan of the Township are maintained.

Clear Form

Print



GRAND HAVEN CHARTER TOWNSHIP

SITE PLAN REVIEW APPLICATION

Application Type	Fee	Escrow*
New – Commercial/Industrial	\$300	\$2,000
Building Addition	\$200	\$1,000
Amendments & All Others	\$150	\$1,000

Utility Escrow**	
Main Extension	\$5,000
Lift Station	\$2,000

Applicant Information

Name Chris Kohane

Phone 616-352-0648 Fax _____

Address 795 Clyde Ct SW

Email Address ckohane@allenedwin.com

Owner Information (If different from applicant)

Name Mikel Dirske

Phone _____ Fax _____

Address 13636 Hofma Ct, Grand Haven, MI 49417

Property Information

Address/Location Vacant Land - Clovernook Dr

Parcel Number 70 - 03 - 27 - 452 - 045 Size (acres) 0.74

Current Zoning R-3 Master-Planned Zoning R-3.5

Description of Proposed Use/Request (attach additional pages as needed)

Site plan for 4 Unit multi family residential dwelling with attached garages.

NOTE: The architect, engineer, planner, or designer shall be responsible for utilizing the Township Ordinance books and following all applicable requirements, including those of Chapter 23 of the Zoning Ordinance. Initially, submit five copies of the required information for staff review. Once staff has granted tentative approval, additional copies will be required as requested by staff.

I hereby attest the information on this application is, to the best of my knowledge, true and accurate.

Chris Kohane

Signature of applicant

Digitally signed by Chris Kohane
 Date: 2020.04.14 08:19:37 -0400

Date

** To cover cost of legal and consulting fees, may be increased as necessary*

*** If approval of this application requires/includes the extension of a municipal utility, an additional \$5,000 escrow fee shall be required, and an additional \$2,000 escrow fee shall be required for the installation of a lift station.*

For Office Use Only

Date Received _____ Fee Paid? _____

Materials Received: Site Plans _____ Location Map _____
Survey _____ Legal Description _____

Dated copy of approved minutes sent to applicant? _____ Date Sent _____

PLANNING COMMISSION USE ONLY

Approval _____

Tabled _____

Denied _____

Conditional Approval _____

The following conditions shall be met for approval:

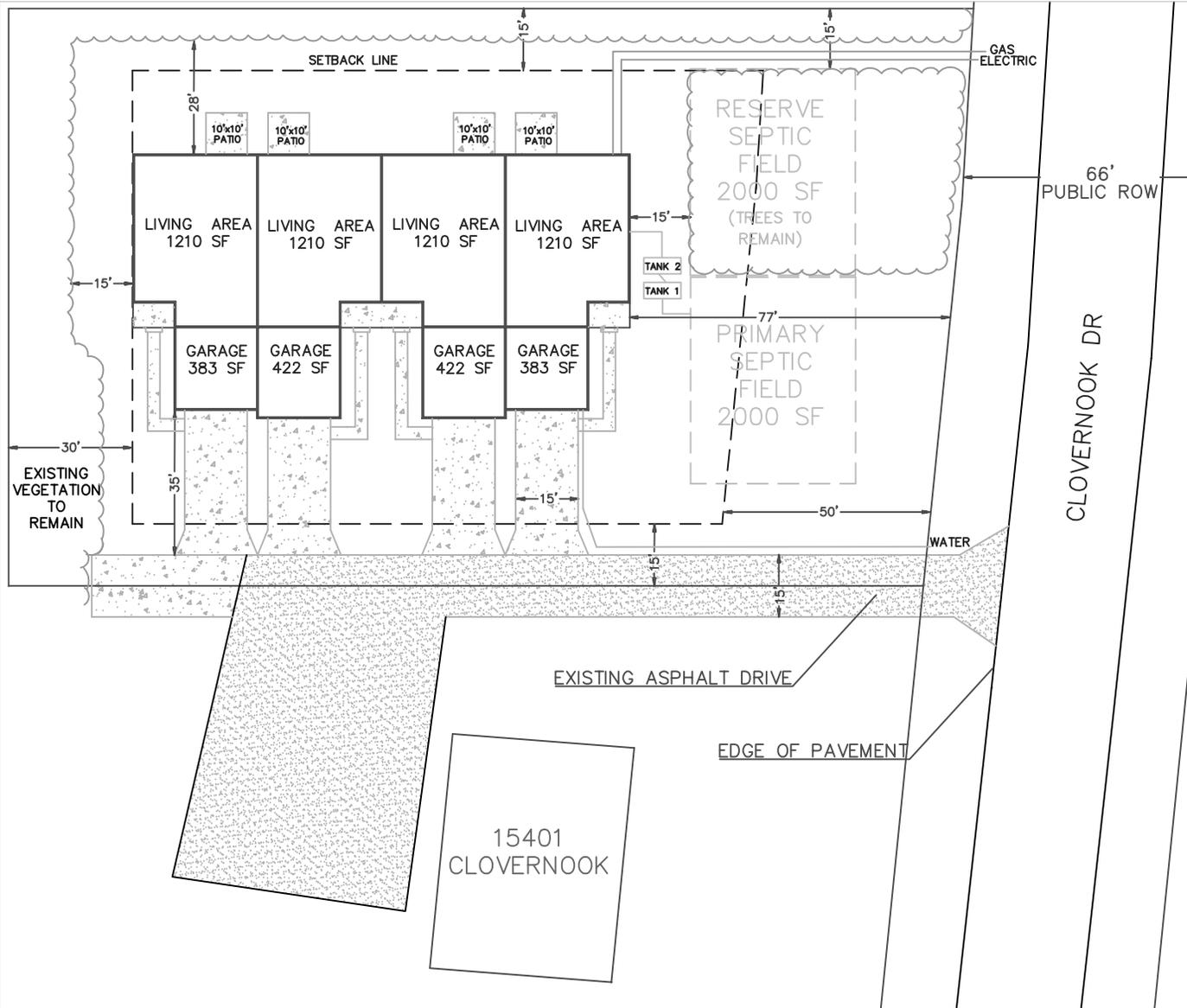
Signature of Planning Commission Chair

Date

VAC CLOVERNOOK DR
 GRAND HAVEN CHARTER TOWNSHIP
 SITE PLAN



4/17/2020
 1" = 40'



ZONING CHARACTERISTICS

SECTION A: REQUIREMENTS

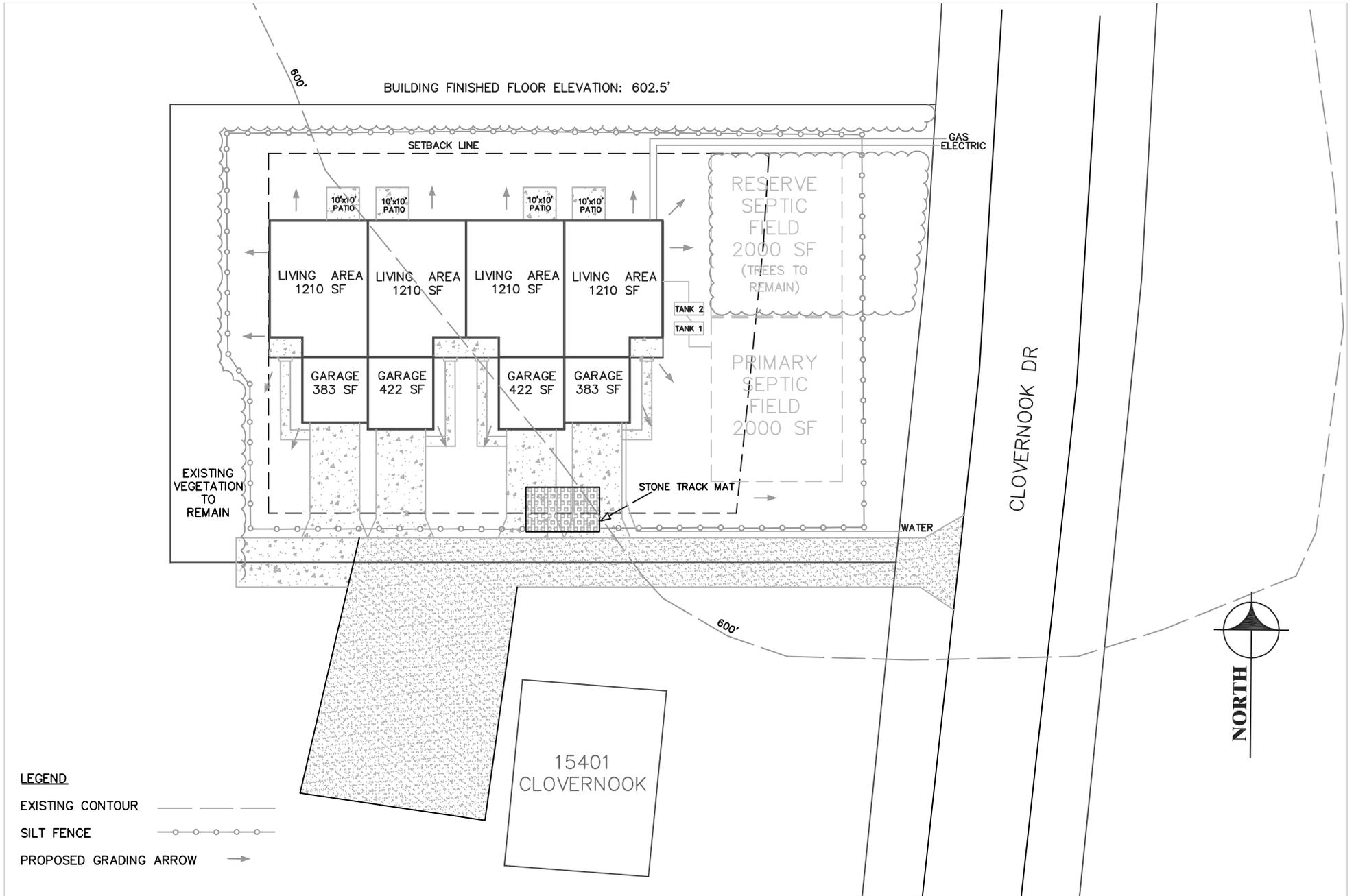
1. MIN 4 UNIT LOT SIZE:
13,000 SF
2. MIN LOT WIDTH F: 100'
3. MIN LOT WIDTH R: 40'
4. FRONT SETBACK: 50'
5. SIDE SETBACK: 15'
6. REAR SETBACK: 30'
7. ALLOWABLE DENSITY:
7 UNITS
8. MAX. IMPERVIOUS SURFACE:
40% OF 32,200 SF =
12,800 SF

SECTION B: PROPOSAL

1. LOT SIZE: 32,234 SF
2. LOT WIDTH F: 140'
3. LOT WIDTH R: 140'
4. FRONT SETBACK: 50'
5. SIDE SETBACK: 15'
6. REAR SETBACK: 30'
7. PROPOSED DENSITY: 4 UNITS
8. IMPERVIOUS SURFACE:
10,964 SF

VAC CLOVERNOOK DR
GRAND HAVEN CHARTER TOWNSHIP
GRADING, UTILITY AND SESC PLAN

4/17/2020
1"=40'



VAC CLOVERNOOK DR
 GRAND HAVEN CHARTER TOWNSHIP
 LANDSCAPE PLAN

4/17/2020
 1"=40'



LANDSCAPE CHARACTERISTICS

SECTION A: REQUIREMENTS

1. MIN 1 TREE / 500 SF NOT PAVED
2. NATIVE GRASS TURF
3. PLANT ONLY APPROVED NATIVE SPECIES

SECTION B: PROPOSAL

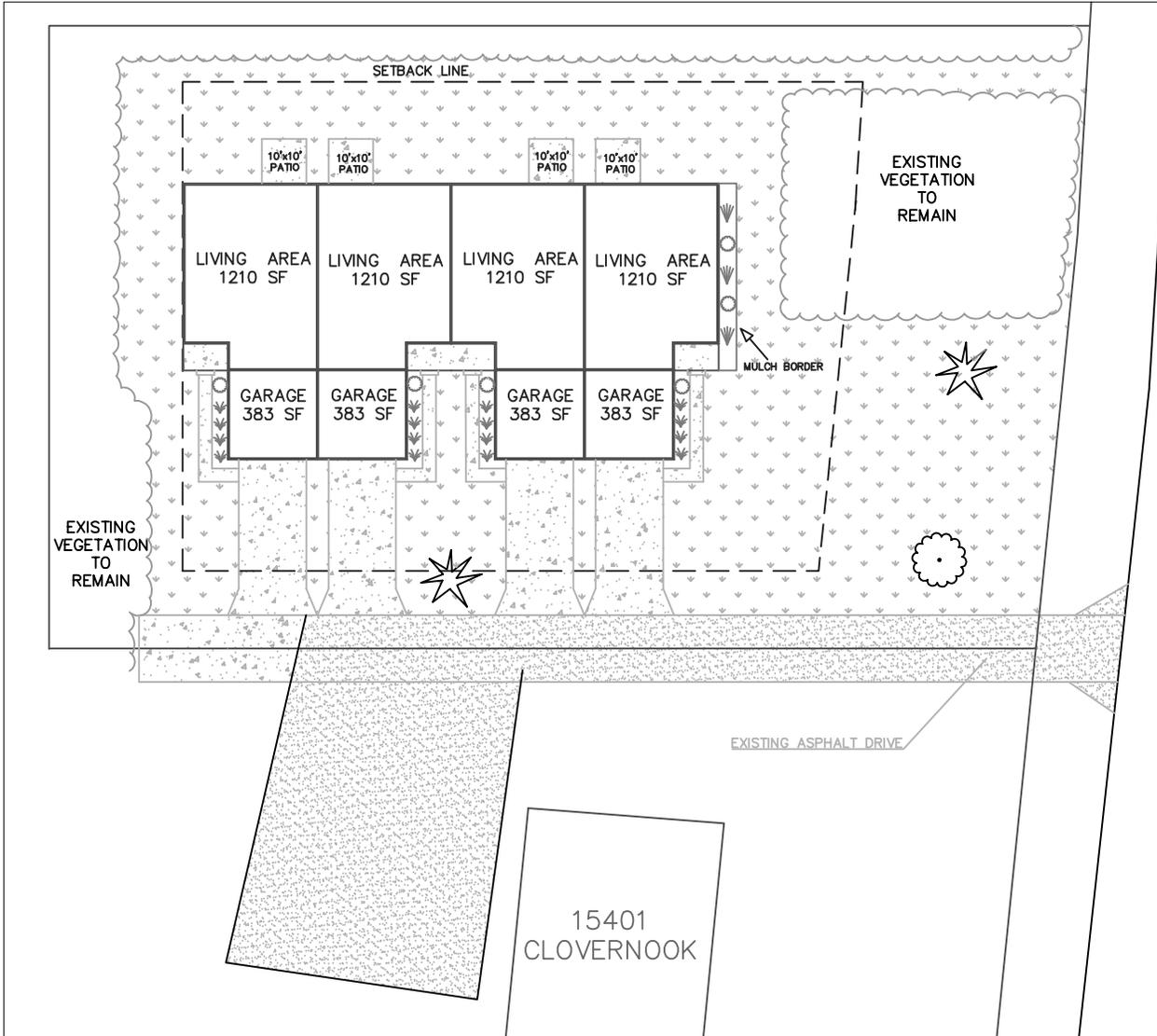
1. 31,840 SF TOTAL LOT AREA
 3,540 SF PAVEMENT NET:
 28,300 SF = 57 TREES REQ'D

PRESERVE TREES TO MAX
 EXTENT POSSIBLE – MIN 54
 TREES
 PLANT ADDITIONAL 3 TREES

2. GRASS TO BE NATIVE SPECIES
3. ALL PLANTINGS TO BE NATIVE SPECIES COMPLIANT WITH ZO SECTION 3.02

LEGEND

-  6' WHITE PINE
-  2.5" RED OAK
-  1 GAL. NEW JERSEY TEA
-  1 GAL. BIG BLUESTEM
-  1 GAL. NEW ENGLAND ASTER



Site Plan Narrative
V/L Clovernook Ave
April 17, 2020

Project Overview

The subject site is the last remaining vacant site in a plat called Lampe Subdivision No. 2 established in 1986. The proposed site plan complies with the building restrictions recorded in 1986, Grand Haven Township Zoning Ordinance and contemporary residential construction. The objective of this narrative is to provide supplemental information to the site plan and demonstrate that proposed use is suitable and beneficial to Grand Haven Township.

Building Elements

The proposed site plan includes a 4-unit attached residential building in the R-3 zoning district. The building will be served with municipal water, private septic, electric, natural gas, and high-speed internet. Each unit will contain the following features:

- Approximately 1,200 square feet of living space in a ranch style home
- 2 bedrooms
- Attached 2 stall private garage
- Private driveways with capacity for two additional vehicles (4 vehicles total per unit)
- Each unit will be served with private entry
- Each unit will be served with a concrete patio, decks are not proposed
- The architecture of the buildings includes variations and attractive upgrades to increase visual appeal

The plan was determined to be the best product for the site because it complies with the permitted uses of the Zoning Ordinance, and the Ottawa County Health Department requirements included in plat restrictions specifying that *“All lots in Lampe Subdivision No. 2 shall be limited to one structure containing 4 apartments with each apartment having a maximum of 2 bedrooms per unit.”* A site evaluation by the Ottawa County Health Department has indicated the site is suitable for a conventional sewage disposal system.

Site Elements

The site plan incorporates the requirements of the Zoning Ordinance to provide quality housing in the Township.

- The site will be accessed by a shared driveway as depicted in the plat restrictions
- Existing vegetation along the perimeter of the project will be preserved to the greatest extent possible
- It is the intent that the preserved trees will meet the minimum planting requirements
- Foundation plantings are proposed with species conforming to the Zoning Ordinance
- Building exteriors, landscaping and lawns will be managed by a professional property management company

- The residents will be permitted to place attractive and well maintain outdoor furniture and temporary planters on the concrete patios. Residents will not be permitted to make improvements outside of the units.
- Soil erosion and sedimentation control best practices will be utilized during the construction process

Clovernook Dr
Elevation Rendering
4/17/2020



V1210S

BUILDER:



2186 E. Centre Street Portage, MI 49002
(269) 321-2600 www.allenedwin.com

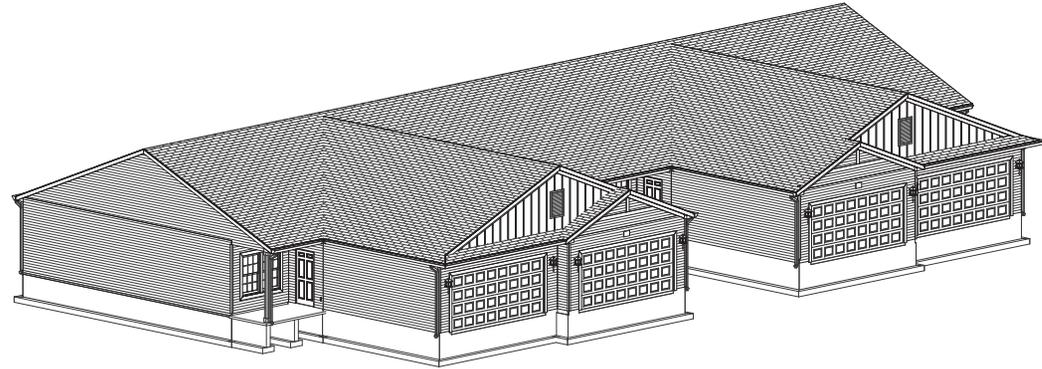
It is the contractor's responsibility to verify all details and dimensions.

All work shall be performed in accordance with all applicable national, state, and local codes and regulations.

All dimensions are to rough frame of studs or to the outside of masonry.

All footings to be below frost line and must rest on undisturbed soil capable of handling the building.

All penetrations are to be sealed in accordance with state and local codes.



FIRST FLOOR PLAN LAYOUT

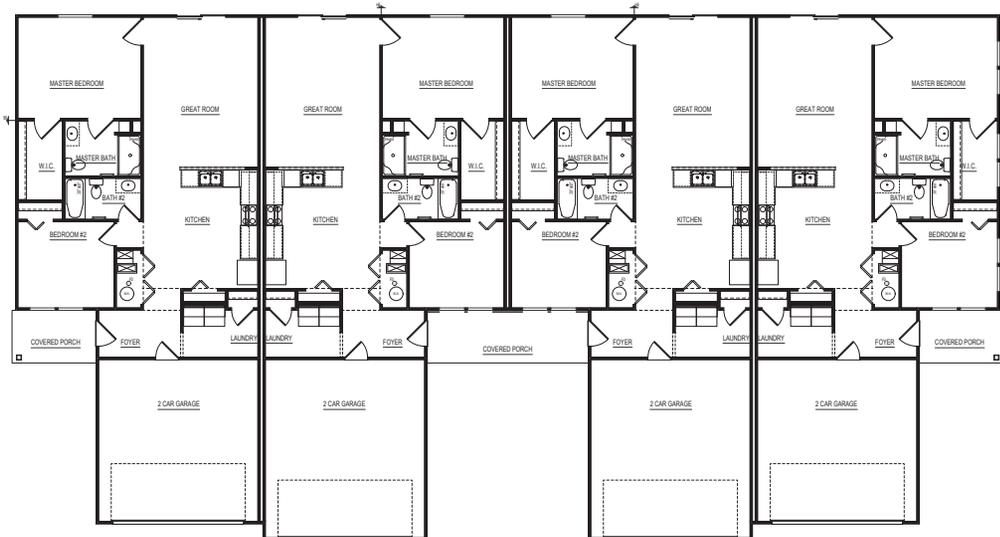


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E-01	BASEMENT ELECTRICAL PLAN
E-02	FIRST FLOOR ELECTRICAL PLAN
E-03	SECOND FLOOR ELECTRICAL PLAN

PROJECT INFORMATION

1st. FLOOR (ABOVE GRADE)	4815	SQ.FT.
2nd. FLOOR (ABOVE GRADE)	0	SQ.FT.
FINISHED BASEMENT	0	SQ.FT.
TOTAL HEATED	4815	SQ.FT.
GARAGE	1698	SQ.FT.
FRONT PORCH	259	SQ.FT.
BACK PORCH	0	SQ.FT.
UNFINISHED BASEMENT	0	SQ.FT.

FINISHED SQUARE FOOTAGE CALCULATIONS FOR THIS HOUSE WERE MADE BASED ON PLAN DIMENSIONS AND MAY VARY FROM THE FINISHED SQUARE FOOTAGE OF THE HOUSE AS BUILT.

REMARKS

REV. NO. | DATE

ELEVATION A1

GARAGE RIGHT

REVISION

ALLEN EDWIN HOMES

2186 E. Centre Street
Portage, MI 49002
(269) 321-2600
www.allenedwin.com



PRINT DATE:

04/10/2020

V1210S

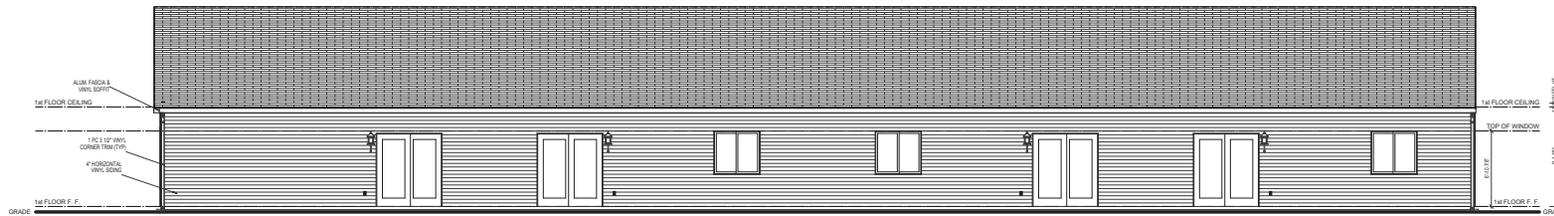
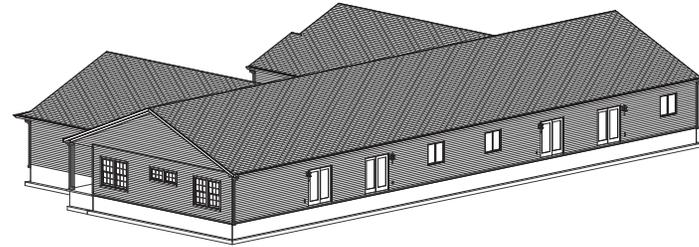
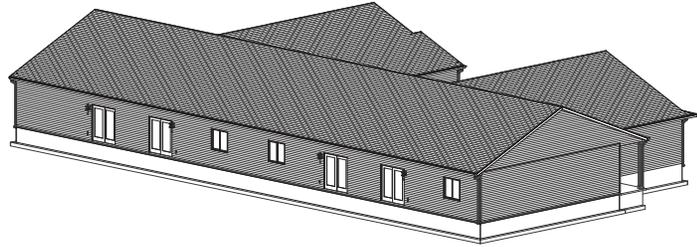
FOR: Allen Edwin Homes

LOT #:

LOCATION:

SHEET NUMBER

CS-01



REAR ELEVATION

SCALE: 1/8"=1'-0"

REMARKS

REV. NO. | DATE

ELEVATION A1

GARAGE RIGHT

REVISION

ALLEN EDWIN HOMES

2186 E. Centre Street
Portage, MI 49702
(269) 321-2600
www.allenedwin.com



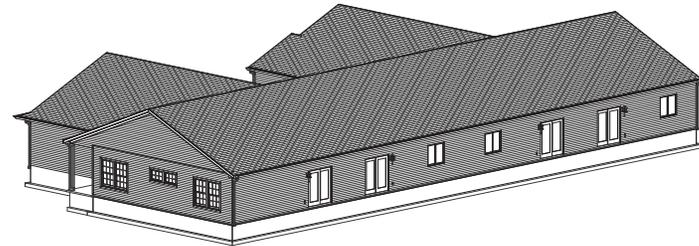
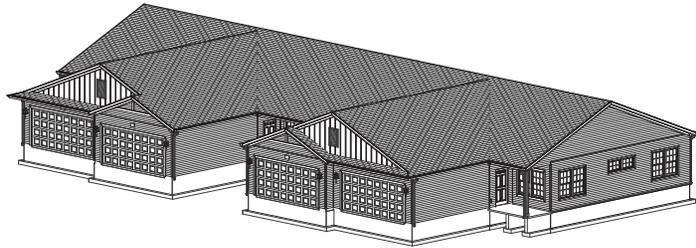
PRINT DATE:
04/10/2020

V1210S

FOR:
Allen Edwin Homes
LOT #:
LOCATION:

SHEET NUMBER

A-02



RIGHT ELEVATION

SCALE: 1/4"=1'-0"

REMARKS

REV. NO. | DATE

ELEVATION A1

GARAGE RIGHT

REVISION

ALLEN EDWIN HOMES

2186 E. Centre Street
Portage, MI 49002
(269) 321-2600
www.allenedwin.com



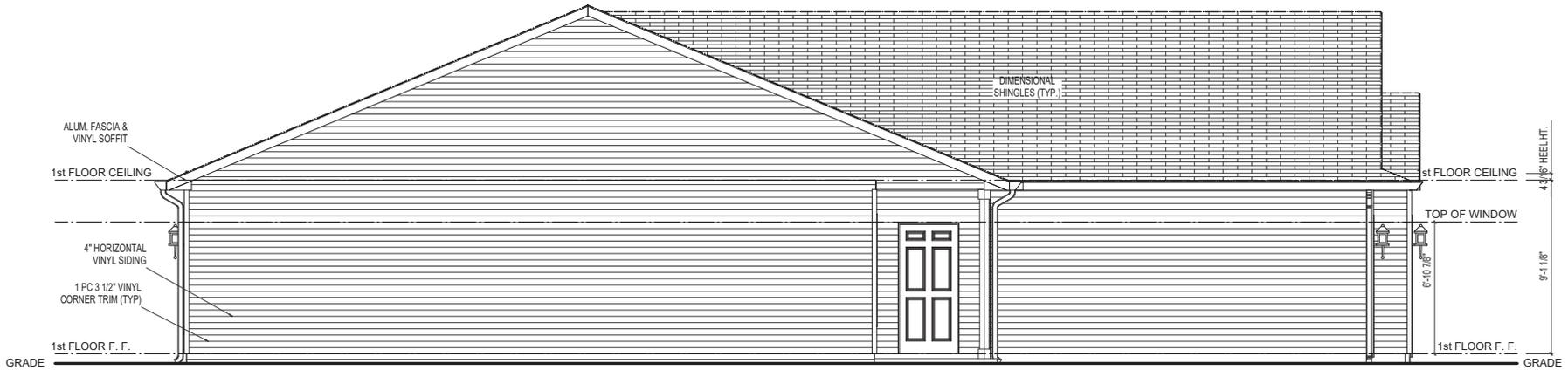
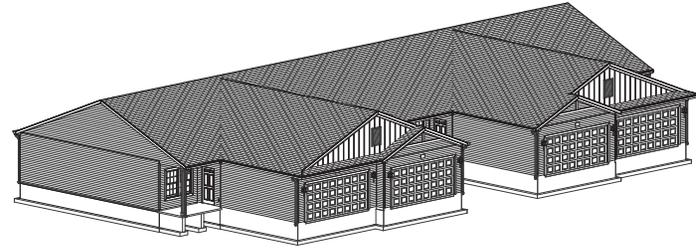
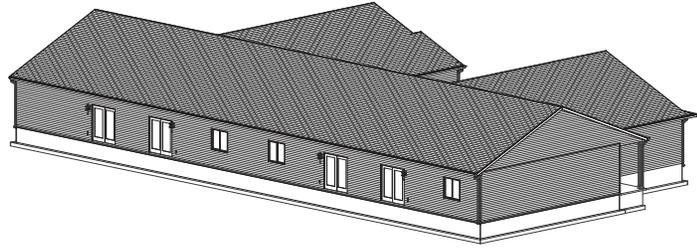
PRINT DATE:
04/10/2020

V1210S

FOR:
Allen Edwin Homes
LOT #:
LOCATION:

SHEET NUMBER

A-03



LEFT ELEVATION

SCALE: 1/4"=1'-0"

REMARKS

REV. NO. | DATE

ELEVATION A1

GARAGE RIGHT

REVISION

ALLEN EDWIN HOMES

2186 E. Centre Street
Portage, MI 49002
(269) 321-2600
www.allenedwin.com



PRINT DATE:
04/10/2020

V1210S

FOR:
Allen Edwin Homes

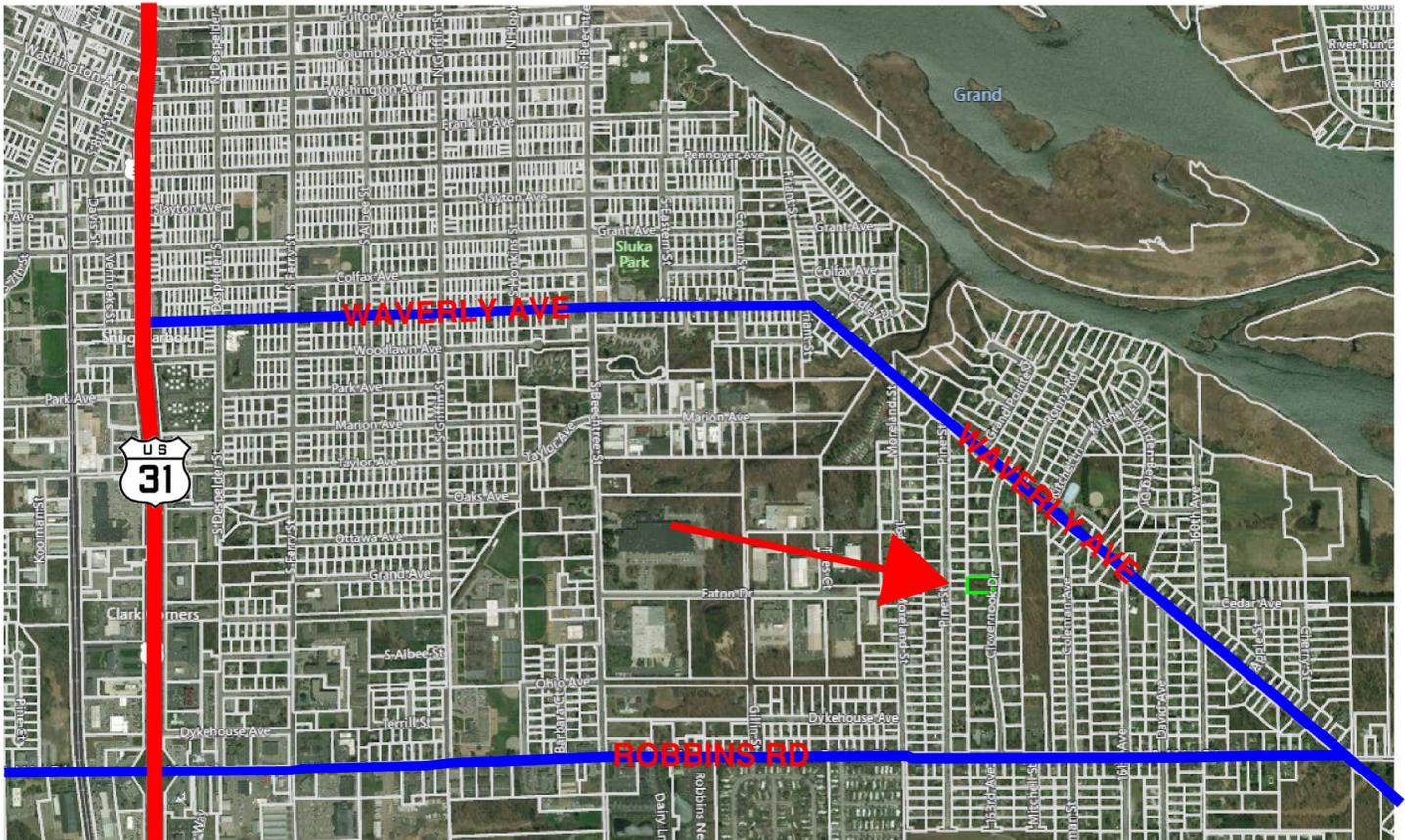
LOT #:

LOCATION:

SHEET NUMBER

A-04

Clovernook Dr
Project Location Map
4/17/2020



CONSTRUCTION & SESC SEQUENCE AND SCHEDULE
 Vacant Land - Clovernook Dr

(Will vary based on weather conditions)

Activity	2020						2021					
	JUL	AUG	SEP	OCT	NOV	DEC	JAN	FEB	MAR	APR	MAY	JUN
Maintain Silt Fence & Temp Controls		X	X	X	X	X	X	X	X	X	X	X
Acquire Building Permit	X											
Clear Site and Stump Grind		X										
Building Construction		X	X	X	X							
Final Grades					X	X						
Permanent Stabilization Efforts (Hydroseed)										X	X	

DATE: _____ TYPE: _____

NAME: _____

PROJECT: _____

Incandescent

P5723-71

Brookside

Get inspired with vintage undertones reminiscent of early 20th century train depots. This indoor-outdoor lantern is aluminum with a textured Gilded Iron finish. One-Light 12" wall lantern.

- Inspired by vintage light fixtures found in early 20th century train stations.
- Aluminum with a textured Gilded Iron finish.
- Double arm attachment for stability.

Category: Outdoor

Finish: Gilded Iron (painted)

Construction: Aluminum Construction



Width: 12"
Height: 12-3/8"
Depth: 13-1/8"
H/CTR: 6-7/8"

MOUNTING	ELECTRICAL	LAMPING	ADDITIONAL INFORMATION
Wall mounted Mounting strap for outlet box included Back plate covers a standard 4" octagonal recessed outlet box 4.8125" W., 1.1875" ht., 4.8125" depth	Pre-wired 6" of wire supplied 120 V	Quantity: One 100w max. Medium Base E26 base ceramic socket	cCSAus Wet location listed 1 year warranty



70-03-27-452-045

Permanent Parcel #

CLOVERNOOK DR GRAND HAVEN GRAND HAVEN TOWNSHIP

Vacant Land Evaluation Report

Date: 03/25/2020

To: Chris Kohane (Allen Edwin Homes)
795 Clyde Ct. SW
Byron Center, MI 49315

Re: *Parcel Number* 70-03-27-452-045
Township Grand Haven
Parcel Size 140' X 230'
Number of Acres 0.73 Acres
Parcel Location The parcel is located on the west side of Clovernook Dr. between
Robbins Rd. and Mercury Dr.

Dear Mr./Mrs. Kohane :

This letter has been sent in response to your request to review the property referenced above to determine its acceptability for the installation of an on-site sewage disposal system, as required by the Ottawa County Environmental Health Code. This letter is **not to be considered a sewage disposal or building permit**, but rather is for your information only. *Also, an acceptable report is not to be considered a permanent guarantee that a sewage disposal permit will be issued, as this department will only consider this response valid for a two year period from the date of issuance.*

Based upon your request, this property was evaluated on 03/25/2020, and this inspection indicated the following:

- This property appears to be **acceptable** for a conventional subsurface sewage disposal system and the required equal reserve area. *(See items checked under the acceptable category for additional information concerning this property.)*
- This property appears to be **unacceptable** for a conventional subsurface sewage disposal system and the required equal reserve area. *(See items checked under the unacceptable category for additional information concerning this property.)*

ACCEPTABLE SITES

- The soils present on this property appear to be acceptable. *(Providing that no unforeseen circumstances or conditions are discovered at a later date which would alter the results of the evaluation or condition of the property at the time of the evaluation.)*
- This property appears acceptable, but additional clean, medium/course sand fill must be brought to the site to elevate the sewage system above grade. This requirement may also necessitate the installation of a dosing chamber and lift pump. The amount of this fill may vary up to 4 additional feet.
- The soils present on this property are marginal for on-site septic system use and although the property will be approved. Any sewage system installed will be extensive in size and could have a shorter life span.
- The site is acceptable but the clay layer overlying the deeper sand soils must be removed and replaced with an approved sand fill.
- The soils at this site appears to be acceptable, but the site itself or the area of acceptable soils may be too small in size. A topographical, scaled drawing with dimensions must be submitted to this department indicating that sufficient room exists for the home, driveway, garage, well *(if applicable)* plus the septic system and its reserve area.
- The property is acceptable, but due to the nature of the soils and/or water table elevation, the location of the septic system must be designated to a specific area of the property. This may necessitate the installation of a dose tank and pump, unless the homesite is located in the immediate vicinity of this acceptable area and elevations allow gravity flow.

UNACCEPTABLE SITES

- This property is unacceptable due to the impermeable soils present on the site.
- This property is unacceptable due to the seasonal high water table present or potential flooding which may occur.
- This property is too small for proper isolation or it lacks sufficient area for a reserve system.
- The sewage system will not be accessible for cleaning and/or repair.
- Conditions exist or may be created which may endanger the public health or the environment.

Special Notes:

- This property is unacceptable for a conventional sewage disposal system, but it may be acceptable for an elevated pressurized mound or other alternate system. Should you wish this site reevaluated it would have to be re-inspected utilizing these alternate system guidelines. Please be aware that another fee for this evaluation is necessary, that additional site measurements and field tests will be at your cost and/or responsibility and that the cost for these systems is considerable higher than a conventional system.

- This property is unacceptable and no sewage disposal or water well permit will be issued. This decision may be appealed to the Ottawa County Environmental Health Code Board of Appeals should you wish to propose an alternate system (*appeal fee required*). Please contact this department for the appropriate form should you wish to proceed with an appeal.

WELL INFORMATION

- Information from previous wells installed in this area has indicated a potential problem with obtaining a well of legal depth, water quality or quantity. A test well would be required on this site prior to the issuance of any septic permit.

- Other
Wells in this area range in depth from 30' - 70'.
Municipal water is available per Grand Haven Township.

It must be reemphasized that this report will be considered valid for two years from the date of issuance. This report is not to be considered a permanent guarantee that a sewage system or water well will be allowed on this site.

This letter also does not ensure or imply that a water well of acceptable depth, water quality or quantity can be obtained on this site.

Should you desire to proceed with the development of this property, please contact this department to determine what, if any, further steps are necessary to obtain your sewage disposal and/or water supply permit.

Very truly yours,

Brad Bordewyk, REHS

Sanitarian

On the reverse side is a sketch of the property which included the location and results of the soil evaluation performed at the site.

VACANT LAND SITE EVALUATION SKETCH SHEET

Split before April 1, 1997

Split after April 1, 1997

over 2.0 acre

1.0 to 2.0 acre

under 1.0 acre

See GIS Drawing dated 3/25/2020.

Soil Boring #1(Acceptable)

0-14" Brown Sandy Loam

14-30" Light Brown Loamy Fine/Medium Sand

30-64" Tan Fine/Medium Sand (Mottled @ 40" and Saturated @ 48")
(Seasonal High Water Table @ 40" and Saturated @ 48")

Soil Boring #2 (Acceptable)

0-8" Brown Sandy Loam

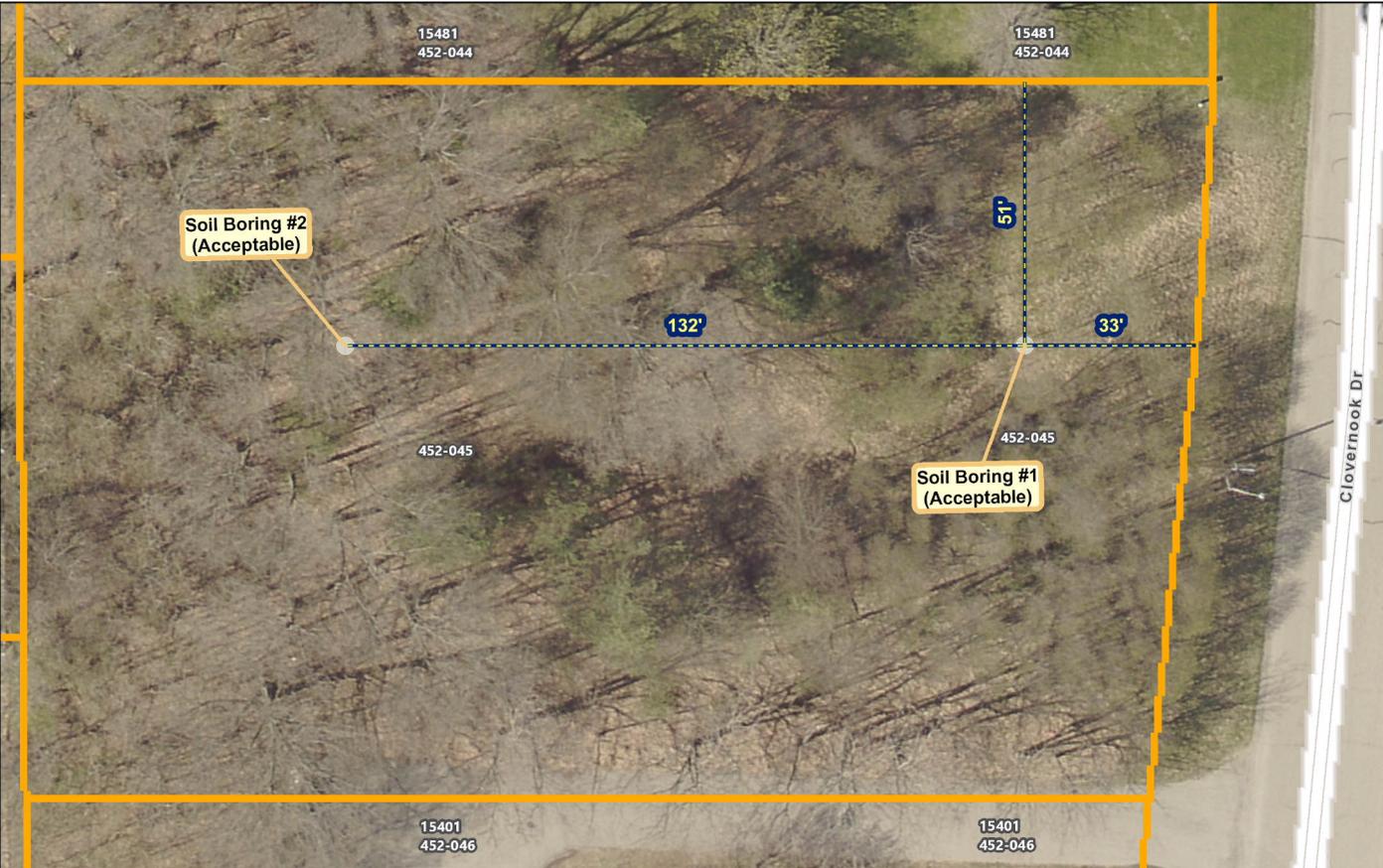
8-20" Light Brown Loamy Fine/Medium Sand

20-64" Tan Fine/Medium Sand (Mottled @ 40" and Saturated @ 48")
(Seasonal High Water Table @ 40" and Saturated @ 48")

This parcel is Lot #39 of Lampe Subdivision No. 2. Below are some of the requirements outlined in the Restrictive Covenant for Lampe Subdivision No. 2.

Restrictive Covenant Requirements:

- *The lot must be used for Multiple Family Residential purposes, with one exception being Adult Foster Care Facilities.
- *The structure must only contain 4 apartment units, with a maximum of 2 bedrooms per unit.
- *A minimum isolation distance of 4 feet must be maintained between the top of the highest known water table and the bottom of the drainfield. Based on the soil boring information above, the bottom of the drainfield must be installed at least 8 inches above existing grade.
- *The sewage disposal system must be installed in the front of the structure between the structure and the road, and the system must be gravity flow.
- *The structure must be connected to municipal water.



www.miOttawa.org

OTTAWA COUNTY HEALTH DEPARTMENT

Vacant Land Evaluation

Address: N of 15401 Cloverbrook Dr.
Parcel: 70-03-27-452-045
Date: 3/25/2020
EH Specialist: Brad Bordewyk, REHS



12251 James Street
 Holland, MI 49424
 (616) 393-5645
 Fax (616) 393-5643



Chris Kohane

From: Jody Carter <JCarter@ottawacorc.com>
Sent: Friday, April 17, 2020 9:43 AM
To: Dan Larabel
Subject: RE: Clovernook Drive

Dan
Yes the driveway can be used. No permit needed.
Jody

From: Dan Larabel <dlarabel@allenedwin.com>
Sent: Friday, April 17, 2020 9:36 AM
To: Jody Carter <JCarter@ottawacorc.com>
Cc: Chris Kohane <ckohane@allenedwin.com>
Subject: Clovernook Drive

Hi Jody, I left you a voicemail yesterday about a site in Grand Haven township. We are looking to build residential product at a vacant site on Clovernook Dr. The site has an existing driveway approach that we would like to continue using. I have attached a map to get you up to speed on the location. Can you confirm that the existing drive can continue to be used for the subject site?

Site Address	CLOVERNOOK DR GRAND HAVEN, MI 49417
Parcel No. (APN)	70-03-27-452-045

Thank you,

Dan Larabel
Land Manager
Allen Edwin Homes
O: 616-878-1748 x428
M: 616-450-4631
dlarabel@allenedwin.com



Community Development Memo

DATE: May 22, 2020

TO: Planning Commission

FROM: Stacey Fedewa, AICP – Community Development Director
Cassandra Hoisington – Associate Planner

RE: Site Plan Review – GHCM – New Construction of Warehouse

BACKGROUND

The owner of Grand Haven Custom Molding (GHCM) purchased the former Consumers Concrete plant at 14016 172nd Avenue. The old batch plant structure has been demolished. The new owner needs to expand because he has product that needs to be stored in a warehouse and his current facility is not large enough.

The property is zoned Industrial and is located in the US-31 Overlay Zone. The site is a little over 6 acres and is a flag lot. A 50,250 sqft warehouse + 6 loading docks are currently proposed. A future expansion of 42,300 sqft is also possible.



The applicant brought the project to the Planning Commission in March. Comments were offered and the plans have been adjusted pursuant to suggestions.

This memo is being written before the ZBA hearing, so it is being crafted in a speculative manner and will offer choices on how to proceed, based on the decisions of the Zoning Board of Appeals.

VARIANCE ITEMS

The applicant has applied for 2 variances, which are summarized below. The PC has requested the applicant obtain a determination from the ZBA prior to the Planning Commission reviewing the project.

1. Loading docks located in the front yard.

The proposed location for the loading docks are on the western wall of the building facing 172nd Avenue. The Zoning Ordinance requires loading docks to be located in a rear or side yard.

2. Steeper slopes for the stormwater basin.

Sloping for the proposed stormwater basin include slopes measuring 4:1. The Zoning Ordinance allows for a maximum slope of 5:1. The request is in relation to the Township requirement to preserve landmark trees and the ability to meet site drainage requirements.

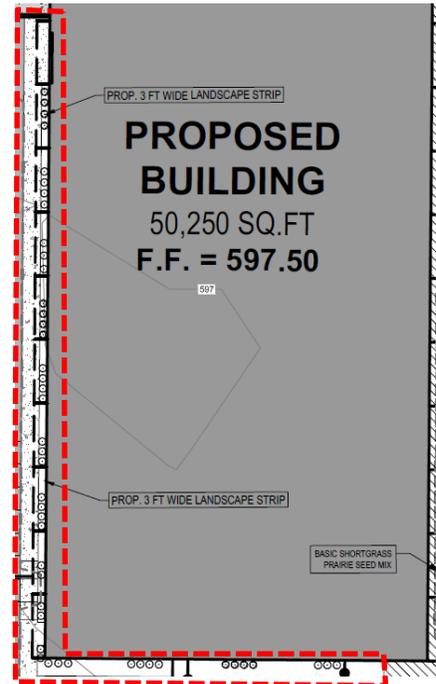
The applicant has drafted the plans as though the variance items are both approved. If either of these variance requests happen to be denied the plans must be revised.

PLAN REVISIONS

Revisions to the plans have been made in efforts to comply with Township standards. There are a few outstanding topics for the Planning Commission to determine compliance with the Zoning Ordinance.

During the discussion meeting the Planning Commission decided additional landscaping would be needed along the front of the building to fulfill design requirements. The original submittal noted a 3 foot wide landscaping strip, but the Planning Commission desired to see specific plantings noted. The revised landscaping plans show 46 plantings within the strip along the front and side of the building. **Is the Planning Commission satisfied with the proposed planting plan?**

The Planning Commission determined additional architectural features would be needed to fulfill the Overlay Zone design standards. The applicant has provided updated elevations which feature additional brick along the front of the building and two red block stripes. **Is the Planning Commission satisfied with the proposed building elevations?**



SAMPLE MOTIONS

If ZBA approves both Variances:

If the Planning Commission finds the application meets the standards, the following motion can be offered:

Motion to conditionally approve the Grand Haven Custom Molding Site Plan Review application for a warehouse located at 14016 172nd Avenue based on it meeting the requirements set forth by the Grand Haven Charter Township Zoning Ordinance. This motion is subject to, and incorporates, the following report. Approval is conditioned upon the following:

1. Revised building elevation plans shall be submitted prior to a building permit being issued.
2. Must receive approval from the Ottawa County Road Commission and Ottawa County Water Resources Commission prior to a building permit being issued.
3. *List the conditions.*

If the Planning Commission finds the application does not meet the applicable standards, the following motion can be offered:

Motion to deny the Grand Haven Custom Molding Site Plan Review application, and direct staff to draft a formal motion and report for those discussion points which will be reflected in the meeting minutes. This will be reviewed and considered for adoption at the next meeting.

If ZBA deny's one or both Variances:

If the Planning Commission finds the applicant must make revisions to the application, the following motion can be offered:

Motion to table the Grand Haven Custom Molding Site Plan Review application, and direct the applicant to make the following revisions:

1. *List the revisions.*

Please contact me prior to the meeting with questions or concerns.

REPORT (TO BE USED WITH A MOTION FOR APPROVAL)

1. The application meets the site plan review standards of Section 18.07.G of the Zoning Ordinance. Specifically, the Planning Commission finds as follows:
 - A. The uses proposed will not adversely affect the public health, safety, or welfare. Uses and structures located on the site take into account topography, size of the property, the uses on adjoining property and the relationship and size of buildings to the site.

- B. The site will be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this ordinance.
 - C. Safe, convenient, uncontested, and well defined vehicular and pedestrian circulation is provided for ingress/egress points and within the site. Drives, streets and other circulation routes are designed to promote safe and efficient traffic operations within the site and at ingress/egress points.
 - D. The arrangement of public or private vehicular and pedestrian connections to existing or planned streets in the area are planned to provide a safe and efficient circulation system for traffic within the township.
 - E. Removal or alterations of significant natural features are restricted to those areas which are reasonably necessary to develop the site in accordance with the requirements of this Ordinance. The Planning Commission has required that landscaping, buffers, and/or greenbelts be preserved and/or provided to ensure that proposed uses will be adequately buffered from one another and from surrounding public and private property.
 - F. Areas of natural drainage such as swales, wetlands, ponds, or swamps are protected and preserved insofar as practical in their natural state to provide areas for natural habitat, preserve drainage patterns and maintain the natural characteristics of the land.
 - G. The site plan provides reasonable visual and sound privacy for all dwelling units located therein and adjacent thereto. Landscaping shall be used, as appropriate, to accomplish these purposes.
 - H. All buildings and groups of buildings are arranged so as to permit necessary emergency vehicle access as requested by the fire department.
 - I. All streets and driveways are developed in accordance with the Ottawa County Road Commission specifications, as appropriate.
 - J. Appropriate measures have been taken to ensure that removal of surface waters will not adversely affect neighboring properties or the public storm drainage system. Provisions have been made to accommodate stormwater, prevent erosion and the formation of dust.
 - K. Exterior lighting is arranged so that it is deflected away from adjacent properties and so it does not interfere with the vision of motorists along adjacent streets, and consists of sharp cut-off fixtures.
 - L. All loading and unloading areas and outside storage areas, including areas for the storage of trash, which face or are visible from residential districts or public streets, are screened.
 - M. Entrances and exits are provided at appropriate locations so as to maximize the convenience and safety for persons entering or leaving the site.
 - N. The site plans conform to all applicable requirements of County, State, Federal, and Township statutes and ordinances.
 - O. The general purposes and spirit of this Ordinance and the Master Plan of the Township are maintained.
2. The Planning Commission also finds the Project complies with the Overlay Zone findings and statement of purpose found in Section 8.01 and 8.06 of the Zoning Ordinance.
- A. The Project accommodates a variety of uses permitted by the underlying zoning, but ensures such uses are designed to achieve an attractive built and natural environment.
 - B. The Project provides architectural and site design standards that are more demanding than required elsewhere in the Township in order to promote harmonious development and complement the natural characteristics in the western sections of the Township.
 - C. The Project promotes public safety and efficient flow of vehicular traffic by minimizing conflicts from turning movements resulting from the proliferation of unnecessary curb cuts and driveways.
 - D. The Project ensures safe access by emergency vehicles.

- E. The Project encourages efficient flow of traffic by minimizing the disruption and conflicts between through traffic and turning movements.
- F. The Project preserves the capacity along US-31 and other roads in the Overlay Zone by limiting and controlling the number and location of driveways and requires alternate means of access through service drives.
- G. The Project seeks to reduce the number and severity of crashes by improving traffic operations and safety.
- H. The Project requires coordinated access among adjacent lands where possible.
- I. The Project provides landowners with reasonable access, although the number and location of access points may not be the arrangement most desired by the Developer.
- J. The Project requires demonstration that prior to approval of any land divisions, the resultant parcels are accessible through compliance with the access standards.
- K. The Project preserves woodlands, view sheds, and other natural features along the corridor.
- L. The Project ensures that distractions to motorists are minimized by avoiding blight and clutter while providing property owners and businesses with appropriate design flexibility and visibility.
- M. The Project implements the goals expressed in the US-31/M-45 Corridor Study.
- N. The Project establishes uniform standards to ensure fair and equal application.
- O. The Project addresses situations where existing development within the Overlay Zone does not conform to the standards.
- P. The Project promotes a more coordinated development review process with the Michigan Department of Transportation and the Ottawa County Road Commission.

Clear Form

Print



GRAND HAVEN CHARTER TOWNSHIP

SITE PLAN REVIEW APPLICATION

Application Type	Fee	Escrow*
New – Commercial/Industrial	\$300	\$2,000
Building Addition	\$200	\$1,000
Amendments & All Others	\$150	\$1,000

Utility Escrow**	
Main Extension	\$5,000
Lift Station	\$2,000

Applicant Information

Name GH Custom Molding
 Phone (616) 935-3160 Fax _____
 Address 1500 S Beechtree, Grand Haven, MI 49417
 Email Address _____

Owner Information *(If different from applicant)*

Name 14016 - 172nd Avenue, LLC (same as GH Custom Molding)
 Phone (616) 935-3160 Fax _____
 Address 1500 S Beechtree, Grand Haven, MI 49417

Property Information

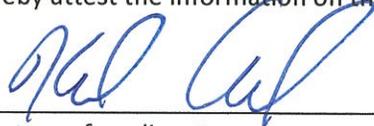
Address/Location 14016 - 172nd Avenue
 Parcel Number 70 - 07 - 04 - 200 - 034 Size (acres) +/- 6.5 acres
 Current Zoning I-1 Industrial Master-Planned Zoning Industrial

Description of Proposed Use/Request *(attach additional pages as needed)*

GH Custom Molding is proposing to construct a new approximate 50,250 sf industrial building on the property.
In addition, drives and parking areas, as well as a truck dock/loading/unloading area will be provided, as shown on the site plan.

NOTE: The architect, engineer, planner, or designer shall be responsible for utilizing the Township Ordinance books and following all applicable requirements, including those of Chapter 23 of the Zoning Ordinance. Initially, submit five copies of the required information for staff review. Once staff has granted tentative approval, additional copies will be required as requested by staff.

I hereby attest the information on this application is, to the best of my knowledge, true and accurate.


 Signature of applicant

1/27/20
 Date

** To cover cost of legal and consulting fees, may be increased as necessary*

*** If approval of this application requires/includes the extension of a municipal utility, an additional \$5,000 escrow fee shall be required, and an additional \$2,000 escrow fee shall be required for the installation of a lift station.*

For Office Use Only

Date Received _____ Fee Paid? _____
Materials Received: Site Plans _____ Location Map _____
Survey _____ Legal Description _____

Dated copy of approved minutes sent to applicant? _____ Date Sent _____

PLANNING COMMISSION USE ONLY

Approval _____
Tabled _____
Denied _____
Conditional Approval _____

The following conditions shall be met for approval:

Signature of Planning Commission Chair

Date



Grand Haven Custom Molding

14016 – 172nd Street

Grand Haven Township, Michigan

Narrative:

Grand Haven Custom Molding (GHCM) is proposing to construct a new 50,250 sf industrial building and related drives/parking areas. The building will be used for storage, with a small office area also provided. There is room for a possible future 42,300 sf building addition to the north. It is unknown at this time when or if that building addition will ever be constructed.

Access to the site will be via the existing driveway off 172nd Street. Truck docks and more than sufficient parking (63 spaces) are provided on the site.

The building will be serviced by public sanitary sewer and water. On site storm water detention is proposed, per Ottawa County Water Resources Commission standards. The drainage design will be reviewed and approved by OCWRC.

Landscaping is proposed around the perimeter of the site to provide proper screening and to improve the aesthetics of the site.

The building will be an industrial building, consisting of primarily of metal paneling and windows. The front corner of the building (SW corner) will be dressed with masonry and additional windows and the main entrance.



GHCM GRAND HAVEN
CUSTOM WELDING



GHCM GRAND HAVEN
CUSTOM MOLDING



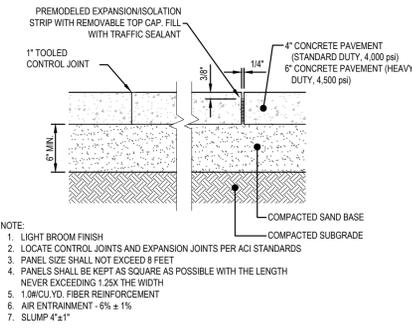
UTILITY LOCATIONS AS SHOWN ON THE PLAN WERE OBTAINED FROM ACTUAL MEASUREMENTS OR AVAILABLE AS-BUILT RECORD DRAWINGS AS PROVIDED TO US. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.

NOTE: THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL UTILITIES AND SERVICE LINES PRIOR TO NEW CONNECTIONS.

BENCHMARKS

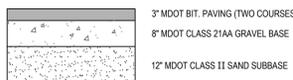
BENCHMARK #200 ELEV. = 598.91 (NAVD88)
Top of NE flange bolt on hydrant (under "USA") 23' N. of NW property corner.

BENCHMARK #526 ELEV. = (NAVD88)
Top of NE flange bolt on hydrant 59' N. & 9' W. of SE property corner.



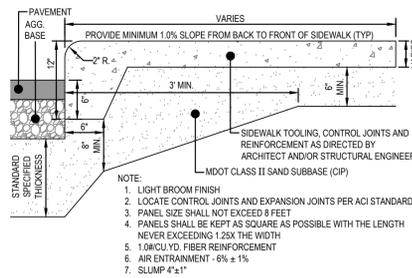
CONCRETE PAVEMENT DETAIL

N.T.S.



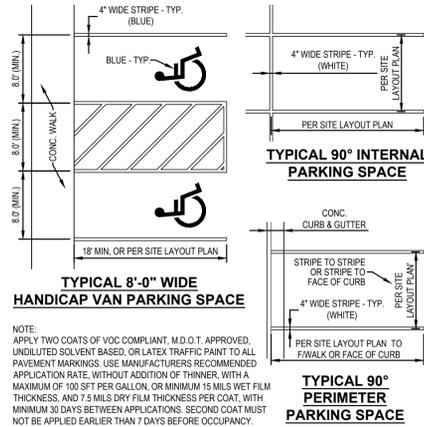
STANDARD DUTY BITUMINOUS PAVEMENT CROSS SECTION DETAIL

N.T.S.



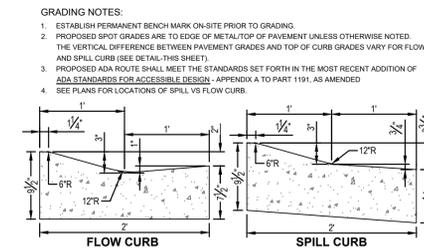
INTEGRAL CURB AND WALK DETAIL

N.T.S.



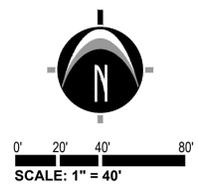
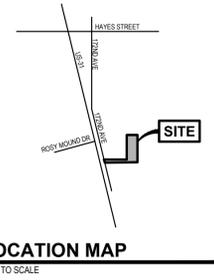
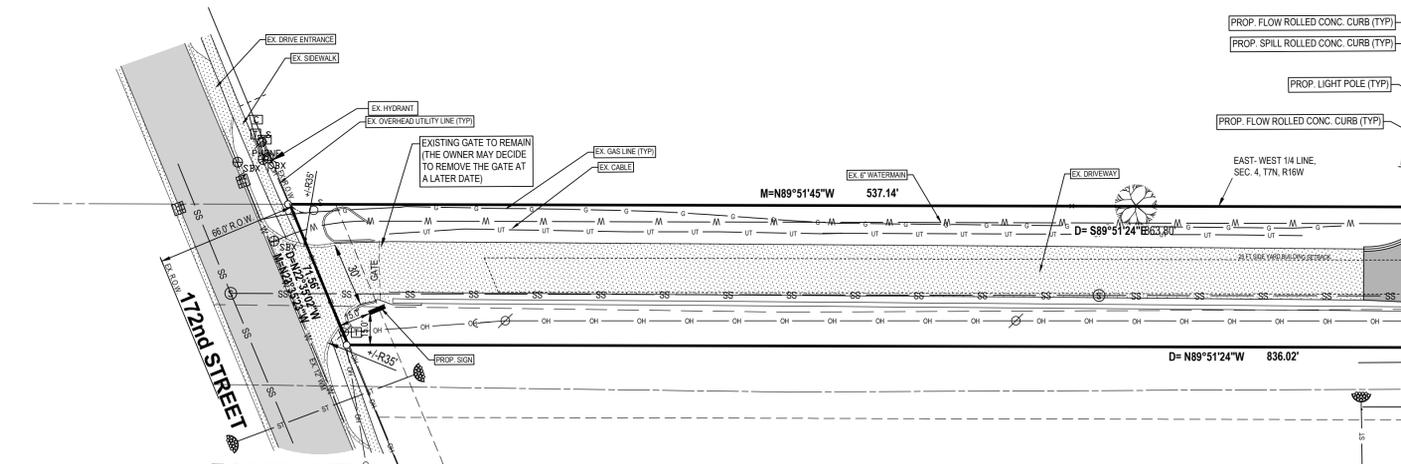
PARKING SPACE MARKING DETAILS

N.T.S.



24\"/>

N.T.S.



LEGEND

[Symbol]	EXISTING BITUMINOUS
[Symbol]	EXISTING CONCRETE
[Symbol]	PROPOSED BITUMINOUS (STANDARD DUTY)
[Symbol]	PROPOSED CONCRETE (STANDARD DUTY)
[Symbol]	PROPOSED CONCRETE (HEAVY DUTY)
[Symbol]	PROPOSED BUILDING

GENERAL NOTES

- ZONING OF PROPERTY: I-1 INDUSTRIAL
 - ZONING REQUIREMENTS
 - MINIMUM LOT AREA = 1 ACRE
 - MINIMUM LOT WIDTH = 110 FT
 - MAXIMUM ALLOWED BUILDING HEIGHT = 2 1/2 STORIES / 35 FT
 - MAXIMUM ALLOWED BUILDING COVERAGE = NOT APPLICABLE
 - MINIMUM ALLOWED BUILDING SETBACKS:
 - FRONT YARD = 75 FT (NO PARKING ALLOWED)
 - SIDE YARD = 20 FT (50 FT ABUTTING RESIDENTIAL)
 - REAR YARD = 25 FT (50 FT ABUTTING RESIDENTIAL)
- SUMMARY OF LAND USE
 - A) TOTAL ACREAGE = 3.33 ACRES (APPROX. 275,807 SF) (EXCLUDING ROAD R.O.W.)
 - B) AREA OF PROPOSED BUILDING FOOTPRINT = APPROXIMATELY 50,250 SF
 - C) PROPOSED BUILDING HEIGHT = APPROXIMATELY 30 FT
 - D) BUILDING LOT COVERAGE = APPROXIMATELY 18.2%
 - E) PROPOSED ON-SITE ASPHALT/CONCRETE AREA = APPROX. 69,400 SF (INCLUDES EX. DRIVEWAY)
 - F) PROPOSED ON-SITE GRAVEL AREA = APPROX. 11,260 SF
 - G) TOTAL IMPERVIOUS PERCENTAGE = APPROXIMATELY 47.6% (130,910 SF)
 - H) THE BUILDING WILL BE USED AS INDUSTRIAL SPACE, WITH APPROXIMATELY 2,500 SF OFFICE.
- ZONING OF SURROUNDING PARCELS
 - NORTH, SOUTH & EAST = INDUSTRIAL (I-1 AND I-1A)
 - WEST = RR RESIDENTIAL
- PARKING REQUIREMENTS
 - A) TYPICAL PARKING SPACE = 9' x 18' (24' TWO-WAY DRIVE AISLES)
 - B) TYPICAL BARRIER FREE SPACE = 8' x 18' (WITH 8' WIDE VAN ACC. AISLES)
 - C) NUMBER OF SPACES REQUIRED = 38 SPACES
 - D) OFFICE USE = 12.5 SPACES (BASED ON 1 PER 200 SF OFFICE; +/- 2,500 SF OFFICE AREA)
 - E) WAREHOUSE USE = 23.875 SPACES (BASED ON 1 PER 2,000 SF; +/- 47,750 SF WAREHOUSE)
 - F) MINIMUM ALLOWED PARKING SETBACK = NO PARKING ALLOWED IN FRONT YARD
- THIS PROJECT IS NOT IN THE 100 YEAR FLOOD PLAN, BASED ON THE NATIONAL FLOOD INSURANCE PROGRAM RATE MAPS. HOWEVER, THE FLOODPLAIN IS VERY CLOSE TO THE EAST PROPERTY LINE. SPECIAL CARE AND ATTENTION SHALL BE PROVIDED IN THAT AREA SO THAT IT IS NOT AFFECTED BY POTENTIAL FLOODING.
- BEST MANAGEMENT PRACTICES WILL BE UTILIZED DURING AND AFTER CONSTRUCTION OF THE PROJECT. MEASURES WILL INCLUDE THE USE OF SILT FENCING, SEEDING AND MULCHING, SEDIMENT FILTERS, COMPACTION AND PAVING. THE OWNER OF THE SUBJECT PARCEL SHALL HAVE THE RESPONSIBILITY TO MAINTAIN THE PERMANENT SOIL EROSION PROTECTION MEASURES.
- NEW SIGNS SHALL BE CONSTRUCTED TO THE STANDARDS SET FORTH BY THE GRAND HAVEN TOWNSHIP ZONING ORDINANCE.
 - GROUND SIGN (ONE ALLOWED PER PARCEL):
 - MAXIMUM AREA = 50 SF
 - MAXIMUM HEIGHT = 8 FT
 - MINIMUM SETBACK = 5 FT FROM FRONT PROPERTY LINE; 15 FT FROM ALL OTHER LOT LINES
 - WALL SIGNS (ONE ALLOWED PER STREET FRONTAGE):
 - MAXIMUM SIZE = 10% OF THE WALL AREA TO WHICH THE SIGN IS AFFIXED.
- UTILITIES SHOWN ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THIS AREA.
- ALL LIGHTING SHALL COMPLY WITH CHAPTER 20A OF THE GRAND HAVEN TOWNSHIP ZONING ORDINANCE. ALL LIGHTING SHALL BE FULLY SHIELDED FROM ALL ADJACENT PROPERTIES. PROPOSED LIGHTING SHALL CONSIST OF SOFTLIGHTS AT BUILDING ENTRANCES, WALL MOUNTED LIGHTS, AND LIGHT POLES. THE FIXTURES WILL BE SHOEBOX TYPE FIXTURES THAT DIRECT THE LIGHT DOWNWARD. THE MAXIMUM LIGHT FIXTURE HEIGHT SHALL BE 30 FT.
- LANDSCAPING SHALL COMPLY WITH THE REQUIREMENTS OF THE GRAND HAVEN TOWNSHIP ZONING ORDINANCE. PLEASE REFER TO THE LANDSCAPE PLAN INCLUDED IN THIS PLAN SET.
- THE PERMANENT PARCEL NUMBER FOR THE SITE IS 70-07-04-200-034.
- THE ADDRESS FOR THE SITE IS 14016 - 172ND AVENUE.
- THE CONSTRUCTION OF THE SITE WILL BEGIN IMMEDIATELY PENDING TOWNSHIP/AGENCY APPROVALS AND PERMITS. IT IS ANTICIPATED THAT THE PROJECT WILL BE COMPLETED IN 2020. THE PROJECT WILL BE COMPLETED IN ONE PHASE.
- THE STORM WATER RUNOFF FROM THE SITE WILL BE COLLECTED AND DETAINED PER OCWR REQUIREMENTS. THE PROPOSED STORM WATER HOLDING AREA HAS BEEN SIZED TO ACCOMMODATE THE PROPOSED PROJECT AS WELL AS THE POSSIBLE FUTURE BUILDING AND PAVEMENT ADDITIONS.
- THE SITE SOIL IS PRIMARILY GRANBY LOAMY SAND, BASED ON THE USDA SOIL SURVEY MAP INFORMATION.
- A KNOX BOX IS REQUIRED FOR THE BUILDING. THE FIRE DEPARTMENT CONNECTION FOR THE SPRINKLING SYSTEM SHALL BE A 5" STORZ COUPLING.
- THE SIDEWALK ADJACENT TO THE BUILDING IS 7 FT WIDE. SIDEWALKS MUST HAVE APPROPRIATE TERMINATIONS THAT SLOPE TO GRADE. OR IN OTHER CASES WHERE THE SIDEWALK TERMINATES INTO AN ENTRY DOOR.
- NO OVERHEAD UTILITY LINES WILL BE REPLACED OR ADDED TO THE SITE.
- FOR THE TRUCK DOCK, THE BAYS SHALL HAVE AT LEAST 14 FT OF OVERHEAD CLEARANCE.

NEDERVELD
www.nederveld.com
800.222.1868
GRAND RAPIDS
217 Grandville Ave., Suite 302
Grand Rapids, MI 49503
Phone: 616.575.5190

ANN ARBOR
CHICAGO
COLUMBUS
HOLLAND
INDIANAPOLIS
ST. LOUIS

PREPARED FOR:
CopperRock Construction Inc.
Attention: Brandon Hartel

601 5th Street NW, Suite 300
Grand Rapids, MI 49504
Phone: 616.920.1655

REVISIONS:

Title: Preliminary Site Plan	Drawn: SW	Checked: SW	Date: 01/22/20
Title: Site Plan Resubmital	Drawn: SW	Checked: SW	Date: 02/19/20
Title: Per OCWR	Drawn: SW	Checked: SW	Date: 02/24/20
Title: Submitted for March 2 PC Meeting	Drawn: SW	Checked: SW	Date: 02/27/20
Title: Submitted for March 24 ZBA Meeting	Drawn: SW	Checked: SW	Date: 03/04/20

GH Custom Molding
Site Layout Plan
14016 172nd Street
PART OF THE NORTHEAST 1/4 OF SECTION 4, T7N, R16W,
GRAND HAVEN TOWNSHIP, OTTAWA COUNTY, MICHIGAN

STAMP:

PROJECT NO:
19201738

SHEET NO:
C-205

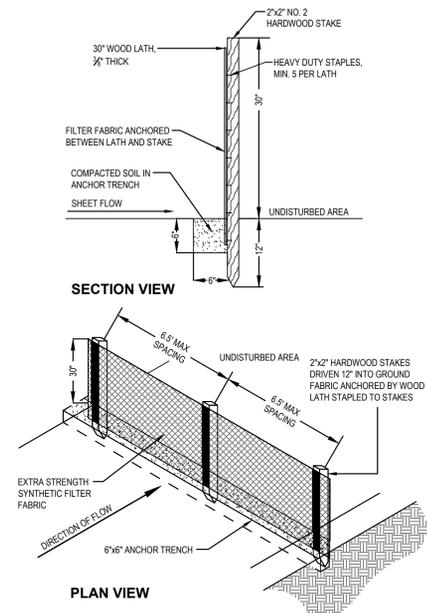
SHEET: 2 OF 5

PREPARED FOR:
 CopperRock Construction Inc.
 Attention: Brandon Hartel
 601 5th Street NW, Suite 300
 Grand Rapids, MI 49504
 Phone: 616.920.1655

REVISIONS:
 Title: Preliminary Site Plan
 Drawn: SW Checked: SW Date: 01/22/20
 Title: Site Plan Resubmittal
 Drawn: SW Checked: SW Date: 02/19/20
 Title: Per OCWRC
 Drawn: SW Checked: SW Date: 02/24/20
 Title: Submitted for March 2 PC Meeting
 Drawn: SW Checked: SW Date: 02/27/20
 Title: Submitted for March 24 ZBA Meeting
 Drawn: SW Checked: SW Date: 03/04/20

811 Know what's below. CALL before you dig.
 UTILITY LOCATIONS AS SHOWN ON THE PLAN WERE OBTAINED FROM ACTUAL MEASUREMENTS OR AVAILABLE AS-BUILT RECORD DRAWINGS AS PROVIDED TO US. THEY SHOULD NOT BE INTERPRETED TO BE EXACT LOCATIONS NOR SHOULD IT BE ASSUMED THAT THEY ARE THE ONLY UTILITIES IN THE AREA.
 NOTE: THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH AND STATUS OF ALL UTILITIES AND SERVICE LINES PRIOR TO NEW CONNECTIONS.

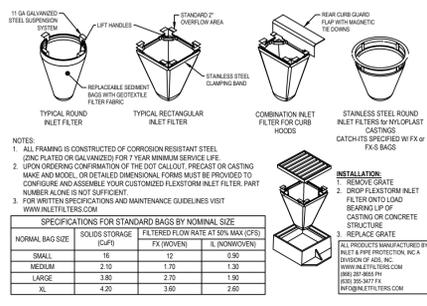
BENCHMARKS
BENCHMARK #200 ELEV. = 598.91 (NAVD88)
 Top of NE flange bolt on hydrant (under "USA") 23' N. of NW property corner.
BENCHMARK #526 ELEV. = (NAVD88)
 Top of NE flange bolt on hydrant 59' N. & 9' W. of SE property corner.



SILT FENCE DETAIL
 N.T.S.

SOIL EROSION CONTROL SCHEDULE 2020

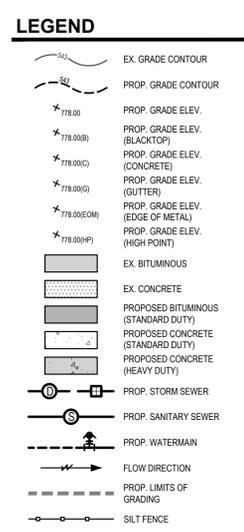
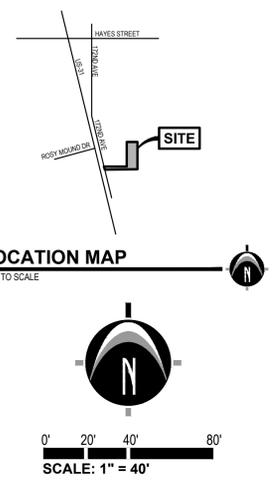
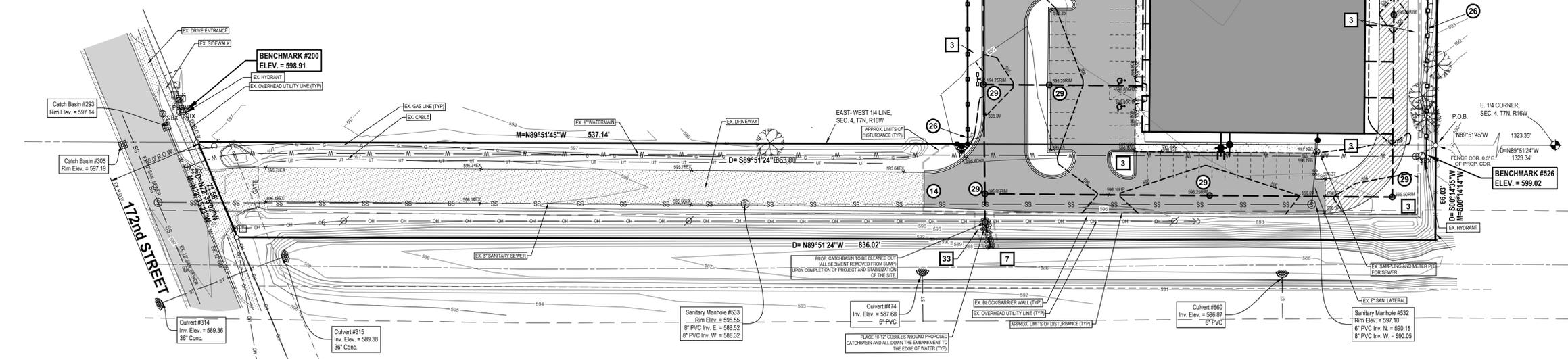
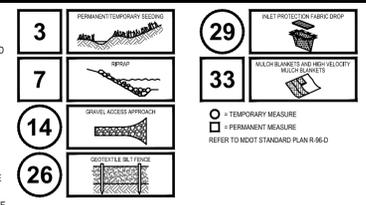
PLACE SILT FENCE	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
STRIP & STOCKPILE TOPSOIL												
CONSTRUCT CONNECTION TO STORM SEWER												
ROUGH GRADE SITE												
CONSTRUCT BUILDING FOUNDATION AND BUILDING												
CONSTRUCT IMPROVEMENTS AROUND BUILDING												
CONSTRUCT UTILITY LINES TO BUILDING												
FINISH GRADE SITE												
PAVE SITE												
RESPREAD TOPSOIL/COMPACTION												
SEED DISTURBED AREAS												
SITE RESTORATION/CLEAN UP												



FLEXSTORM INLET FILTER DETAIL
 N.T.S.

SOIL EROSION AND SEDIMENTATION CONTROL NOTES

- CONTRACTOR SHALL POSSESS THE SOIL EROSION AND SEDIMENTATION CONTROL PERMIT PRIOR TO START OF ANY EARTH WORK.
- CONTRACTOR SHALL MODIFY THIS SOIL EROSION AND SEDIMENTATION CONTROL PLAN TO SHOW THE ADDITIONAL CONTROL MEASURES INTENDED TO BE USED DURING CONSTRUCTION. SUBMIT MODIFICATIONS TO THE CONTROLLING AGENCY, THE OWNER, AND THE ENGINEER.
- EROSION PROTECTION SHALL BE PROVIDED AT ALL STORM SEWER INLETS AND OUTLETS. ALL BARE EARTH SHALL BE STABILIZED WITH SEEDING.
- REFER TO THE M.D.O.T. "SOIL EROSION AND SEDIMENTATION CONTROL MANUAL" (APRIL 2006) FOR ADDITIONAL INFORMATION.
- THE ENTIRE STORM SEWER SYSTEM SHALL BE CLEANED AND FLUSHED FOLLOWING CONSTRUCTION AND PAID RECEIPT THEREOF PROVIDED TO THE ENGINEER AND COUNTY SECS AGENT PRIOR TO FINAL PAYMENT TO THE CONTRACTOR OR FINAL ACCEPTANCE OF THE CONSTRUCTION BY THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO INSPECT, TAKE CORRECTIVE ACTION AND MAINTAIN ALL TEMPORARY SECS MEASURES DAILY AND AFTER EACH RAIN EVENT UNTIL FINAL COMPLETION AND ACCEPTANCE OF THE PROJECT.



GH Custom Molding
Grading and S.E.S.C. Plan
 14016 172nd Street
 PART OF THE NORTHEAST 1/4 OF SECTION 4, T7N, R16W,
 GRANDHAVEN TOWNSHIP, OTTAWA COUNTY, MICHIGAN

STAMP:
 STATE OF MICHIGAN
 STEVEN L. WHITE
 ENGINEER
 No. 48769
 LICENSED PROFESSIONAL ENGINEER

PROJECT NO:
 19201738
SHEET NO:
C-301
SHEET: 4 OF 5



Scale: 1 inch= 25 Ft.

The Lighting Analysis, eLayout, Energy Analysis and/or Visual Simulation ("Lighting Design") provided by RAB Lighting Inc. ("RAB") is based on design parameters and information supplied by others. These design parameters and information have not been field verified by RAB and therefore actual measured results may vary from the actual field conditions. RAB neither warrants, either implied or stated, with regard to actual measured light levels or energy consumption levels as compared to those illustrated by the Lighting Design. RAB neither warrants, either implied or stated, nor represents the appropriateness, completeness or suitability of the Lighting Design in compliance with any applicable regulatory requirements with the exception of those specifically stated on drawings created and approved by RAB. The Lighting Design is provided as a design tool for informational purposes only and is not intended for construction nor as being part of a project's construction documentation package.

Scale: as noted	PROJECT #141176
Date: 3/14/2020	CASE #340452
Filename: GHCM 340452D.AGI	
Drawn By: Shaun Fillion, LC	

Job Name:
GHCM
Grand Haven, MI
Lighting Layout
Version D

Prepared For:
McDonough and Associates
8640 Ronda Drive
Canton, MI 48187-2005

RAB
LIGHTING
179 Ludlow Avenue, Northvale, NJ 07647
888 722-1000 • RABWEB.COM

Luminaire Schedule										
Symbol	Qty	Tag	Label	Lum. Lumens	LLF	Description	Lum. Watts	Total Watts	Filename	BUG Rating
	26	AE	ARBAY2-120-E2	16039	1.000	Aerobay 120W 5000K EM battery	115.8	3010.8	ARBAY2-120 DLF1906103-2aMOD50.1B3-U0-G2	
	112	A	ARBAY2-120-PIR	16039	1.000	Aerobay 120W 5000K PIR sensor	115.8	12969.6	ARBAY2-120 DLF1906103-2aMOD50.1B3-U0-G2	
	4	BE	SWISH2X2-29N D10 E2	3766	1.000	Swish 2x2 29W 4000K Emergency	29.3	117.2	SWISH2X2-29N D10 - Neutral - RAB	B1-U1-G1
	24	B	SWISH2X2-29N D10	3766	1.000	Swish 2x2 29W 4000K	29.3	703.2	SWISH2X2-29N D10 - Neutral - RAB	B1-U1-G1
	4	C3	ALED26N X3 @ 90	3534	1.000	Area light 26W 4000K X3@90	29.1127	349.3524	ALED26N - DLF20180416001-19a C.I	B1-U1-G0
	18	D	WPLED26N	3534	1.000	Wallpack 26W 4000K	29.1127	524.0286	WPLED26N - DLF20180416001-19a C.B1-U1-G0	

Calculation Summary											
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Description	PtSpcLr	PtSpcTb	Meter Type
Bath 1_Workplane	Illuminance	Fc	28.00	28.7	27.3	1.03	1.05	Readings at 2.5 FT AFF	3	3	Normal
Bath 2_Workplane	Illuminance	Fc	28.15	28.8	27.5	1.02	1.05	Readings at 2.5 FT AFF	3	3	Normal
Mezzanine_Workplane	Illuminance	Fc	45.69	91.5	10.4	4.39	8.80	Readings at 2.5 FT AFF	3	3	Normal
North Roadway	Illuminance	Fc	0.42	2.1	0.1	4.20	21.00		10	10	Horizontal
Office_Workplane	Illuminance	Fc	41.09	52.3	15.6	2.63	3.35	Readings at 2.5 FT AFF	3	3	Normal
Parking Area	Illuminance	Fc	0.91	5.7	0.1	9.10	57.00	Readings at 0 FT AFG	10	10	Horizontal
Warehouse_Workplane	Illuminance	Fc	43.71	51.7	12.9	3.39	4.01	Readings at 3 FT AFF	5	5	Normal

NOTES:
 * The light loss factor (LLF) is a product of many variables, only lamp lumen depreciation (LLD) has been applied to the calculated results unless otherwise noted. The LLD is the result (quotient) of mean lumens / initial lumens per lamp manufacturers' specifications.

* Illumination values shown (in footcandles) are the predicted results for planes of calculation either horizontal, vertical or inclined as designated in the calculation summary. Meter orientation is normal to the plane of calculation.

* The calculated results of this lighting simulation represent an anticipated prediction of system performance. Actual measured results may vary from the anticipated performance and are subject to means and methods which are beyond the control of RAB Lighting Inc.

* Mounting height determination is job site specific, our lighting simulations assume a mounting height (insertion point of the luminaire symbol) to be taken at the top of the symbol for ceiling mounted luminaires and at the bottom of the symbol for all other luminaire mounting configurations.

* It is the Owner's responsibility to confirm the suitability of the existing or proposed poles and bases to support the proposed fixtures, based on the weight and EPA of the proposed fixtures and the owner's site soil conditions and wind zone. It is recommended that a professional engineer licensed to practice in the state the site is located be engaged to assist in this determination.

* The landscape material shown hereon is conceptual, and is not intended to be an accurate representation of any particular plant, shrub, bush, or tree, as these materials are living objects, and subject to constant change. The conceptual objects shown are for illustrative purposes only. The actual illumination values measured in the field will vary.

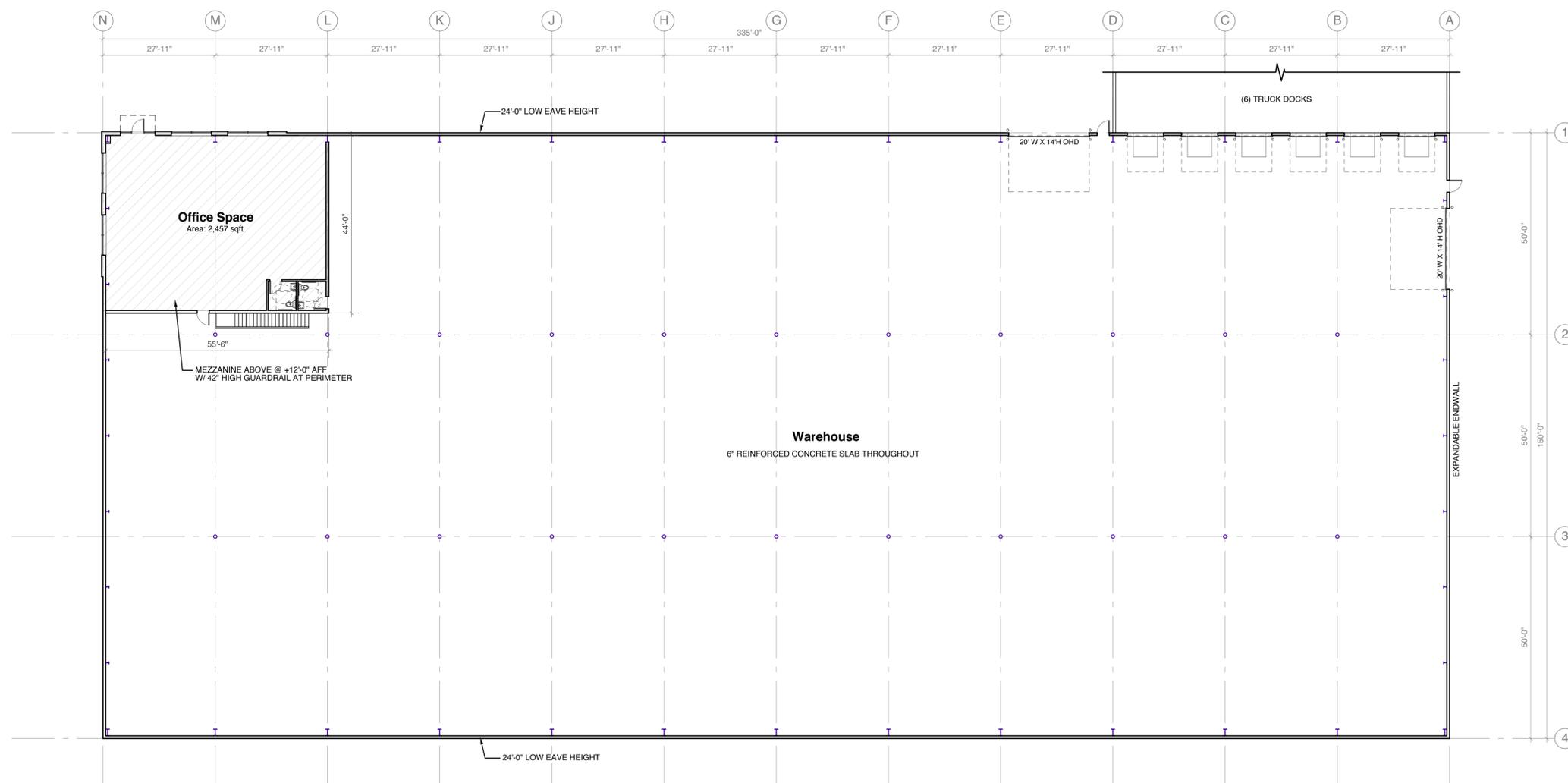
* Photometric model elements such as buildings, rooms, plants, furnishings or any architectural details which impact the dispersion of light must be detailed by the customer documents for inclusion in the RAB lighting design model. RAB is not responsible for any inaccuracies caused by incomplete information on the part of the customer, and reserves the right to use best judgement when translating customer requests into photometric studies.

* RAB Lighting Inc. luminaire and product designs are protected under U.S. and International intellectual property laws. Patents issued or pending apply.

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Expanded Luminaire Location Summary											
LumNo	Tag	X	Y	MTG	HT	Orient	Switched				
96	A	281.05	118.61	23.5	90	90	On				
97	A	281.05	143.61	23.5	90	90	On				
98	A	281.04	168.61	23.5	90	90	On				
99	A	281.04	193.61	23.5	90	90	On				
100	A	281.04	218.61	23.5	90	90	On				
101	AE	295.01	93.611	23.5	90	90	On				
102	A	295.01	118.61	23.5	90	90	On				
103	AE	295.01	143.61	23.5	90	90	On				
104	A	295.00	168.61	23.5	90	90	On				
105	AE	295.00	193.61	23.5	90	90	On				
106	A	308.97	93.611	23.5	90	90	On				
108	A	308.97	118.61	23.5	90	90	On				
109	A	308.97	143.61	23.5	90	90	On				
110	A	308.96	168.61	23.5	90	90	On				
111	A	308.96	193.61	23.5	90	90	On				
112	AE	308.96	218.61	23.5	90	90	On				
113	A	322.93	93.612	23.5	90	90	On				
114	A	322.93	118.61	23.5	90	90	On				
115	A	322.93	143.61	23.5	90	90	On				
116	A	322.92	168.61	23.5	90	90	On				
117	A	322.92	193.61	23.5	90	90	On				
118	A	322.92	218.61	23.5	90	90	On				
119	A	336.89	93.613	23.5	90	90	On				
120	A	336.89	118.61	23.5	90	90	On				
121	A	336.89	143.61	23.5	90	90	On				
122	A	336.88	168.61	23.5	90	90	On				
123	A	336.88	193.61	23.5	90	90	On				
124	A	336.88	218.61	23.5	90	90	On				
125	AE	350.85	93.614	23.5	90	90	On				
126	A	350.85	118.61	23.5	90	90	On				
127	AE	350.85	143.61	23.5	90	90	On				
128	A	350.84	168.61	23.5	90	90	On				
129	AE	350.84	193.61	23.5	90	90	On				
130	A	350.84	218.61	23.5	90	90	On				
131	A	364.81	93.615	23.5	90	90	On				
132	A	364.81	118.61	23.5	90	90	On				
133	A	364.81	143.61	23.5	90	90	On				
134	A	364.80	168.61	23.5	90	90	On				
135	A	364.80	193.61	23.5	90	90	On				
136	AE	364.80	218.61	23.5	90	90	On				
137	A	378.77	93.616	23.5	90	90	On				
138	A	378.77	118.61	23.5	90	90	On				
139	A	378.77	143.61	23.5	90	90	On				
140	A	378.76	168.61	23.5	90	90	On				
141	A	378.76	193.61	23.5	90	90	On				
142	A	378.76	218.61	23.5	90	90	On				
143	A	392.73	93.616	23.5	90	90	On				
144	A	392.73	118.61	23.5	90	90	On				
145	A	392.73	143.61	23.5	90	90	On				
146	A	392.72	168.61	23.5	90	90	On				
147	A	392.72	193.61	23.5	90	90	On				
148	A	392.72	218.61	23.5	90	90	On				
149	AE	406.69	93.617	23.5	90	90	On				
150	A	406.69	118.61	23.5	90	90	On				
151	AE	406.69	143.61	23.5	90	90	On				
152	A	406.68	168.61	23.5	90	90	On				
153	AE	406.68	193.61	23.5	90	90	On				
154	A	406.68	218.61	23.5	90	90	On				
155	A	420.65	93.618	23.5	90	90	On				
156	A	420.65	118.61	23.5	90	90	On				
157	A	420.65	143.61	23.5	90	90	On				
158	A	420.64	168.61	23.5	90	90	On				
159	A	420.64	193.61	23.5	90	90	On				
160	A	420.64	218.61	23.5	90	90	On				
161	A	434.61	93.619	23.5	90	90	On				
162	AE	434.61	118.61	23.5	90	90	On				
163	A	434.61	143.61	23.5	90	90	On				
164	AE	434.60	168.61	23.5	90	90	On				
165	A	434.60	193.61	23.5	90	90	On				
166	AE	434.60	218.61	23.5	90	90	On				
167	C3	1436.9	232.49	25	0	0	On				
167	C3	1435.4	233.99	25	90	90	On				
167	C3	1435.4	230.99	25	270	270	On				
168	C3	1437.9	341.5	25	0	0	On				
168	C3	1436.4	343	25	90	90	On				
168	C3	1436.4	340	25	270	270	On				
169	C3	1438.3	453.60	25	0	0	On				
169	C3	1436.8	452.10	25	270	270	On				
170	C3	1438.9	565.21	25	0	0	On				
170	C3	1437.4	566.71	25	90	90	On				
170	C3	1437.4	563.71	25	270	270	On				
171	D	1554.6	519.09	24	180.04	180.04	On				
172	D	1555.0	464.09	24	180.04	180.04	On				
173	D	1555.4	409.09	24	180.04	180.04	On				
174	D	1555.7	354.09	24	180.04	180.04	On				
175	D	1556.1	299.1	24	180.04	180.04	On				
176	D	1556.5	244.10	24	180.04	180.04	On				
177	D	1577.5	223.9	24	270	270	On				
178	D	1577.6	560.27	24	89.99	89.99	On				
179	D	1632.5	223.9	24	270	270	On				
180	D	1632.6	560.26	24	89.99	89.99	On				
181	D	1687.5	223.9	24	270	270	On				
182	D	1687.6	560.25	24	89.99	89.99	On				
183	D	1708.8	244.15	24	0	0	On				
184	D	1709.1	299.15	24	0	0	On				
185	D	1709.5	354.15	24	0	0	On				
186	D	1709.8	409.15	24	0	0	On				
187	D	1710.1	464.15	24	0	0	On				
188	D	1710.5	519.15	24	0	0	On				
Total Quantity: 196 (101 shown, 96 through 196)											

Expanded Luminaire Location Summary											
LumNo	Tag	X	Y	MTG	HT	Orient	Switched				
1	B	118.85	193.75	9.9	0	0	On				
2	B	118.85	203.75	9.9	0	0	On				
3	B	118.85	213.75	9.9	0	0	On				
4	B	118.85	223.75	9.9	0	0	On				
5	B	126.85	193.75	9.9	0	0	On				
6	BE	126.85	203.75	9.9	0	0	On				
7	B	126.85	213.75	9.9	0	0	On				
8	BE	126.85	223.75	9.9	0	0	On				
9	A	127.28	193.60	23.5	90	90	On				
10	AE	127.49	93.601	23.5	90	90	On				
11	A	127.28	218.60	23.5	90	90	On				
12	A	127.49	118.60	23.5	90	90	On				
13	AE	127.49	143.60	23.5	90	90	On				
14	A	127.48	168.60	23.5	90	90	On				
15	B	134.85	193.75	9.9	0	0	On				
16	B	134.85	203.75	9.9	0	0	On				
17	B	134.85	213.75	9.9	0	0	On				
18	B	134.85	223.75	9.9	0	0	On				
19	A	141.24	193.60	23.5	90	90	On				
20	A	141.45	93.601	23.5	90	90	On				
21	A	141.24	218.60	23.5	90	90	On				
22	A	141.45	118.60	23.5	90	90	On				
23											



1. Building Floor Plan
 SCALE: 1/16" = 1'-0"
 BLDG AREA: 50,290 SQ FT

dixon
 ARCHITECTURE
 523 Ada Drive SE, Suite 200
 PO Box 404
 Ada, MI 49301
 p. (616) 682-4570
 www.dixonarch.com

COPPERROCK
 CONSTRUCTION
 601 Fifth Street NW, Suite 300
 PO Box 1763
 Grand Rapids, MI 49501
 p. (616) 920-1655
 www.copperrockconstruction.com

Client
 Client Address
 Grand Rapids, MI 49503
 p. (616)
 f. (616)
 www.website.com

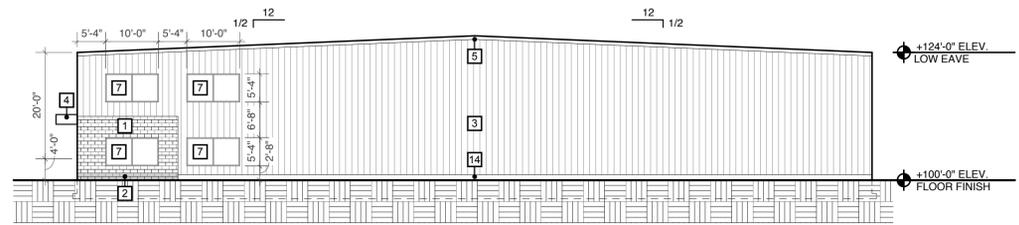
Grand Haven 50K PEMB
 14016 172nd Street
 Grand Haven, Michigan
Floor Plan



Revisions:
 SPR: 5/21/2020

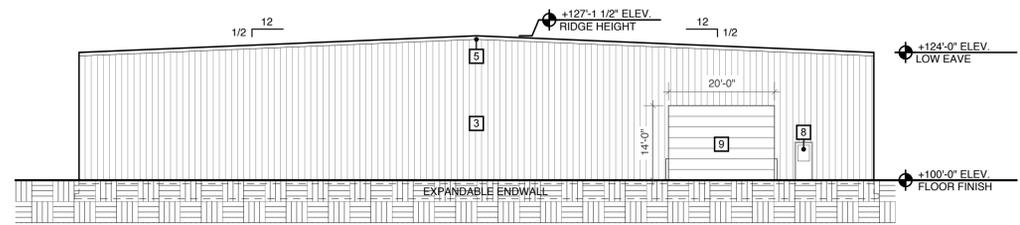
Project No: 219060
 Issue Date: 5/21/20
 Reviewer: KCD
 Drawn By: KCD

A2.1



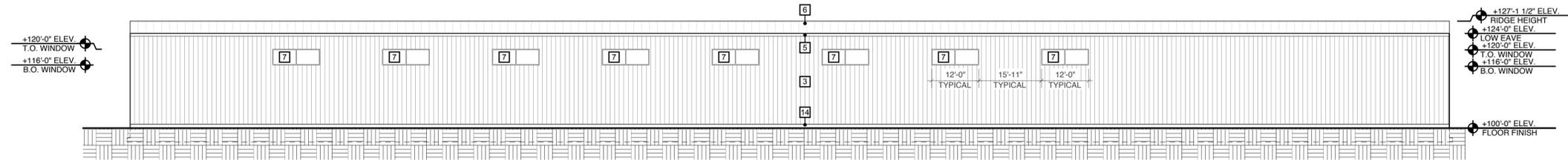
1. South Elevation

SCALE: 1/16" = 1'-0"
0' 8' 16' 32'



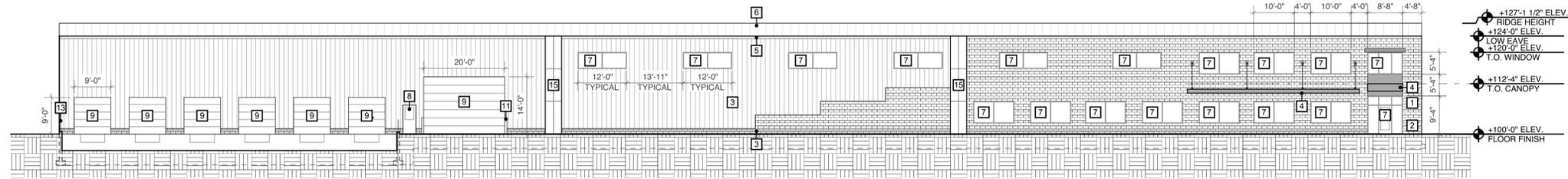
2. North Elevation

SCALE: 1/16" = 1'-0"
0' 8' 16' 32'



3. East Elevation

SCALE: 1/16" = 1'-0"
0' 8' 16' 32'

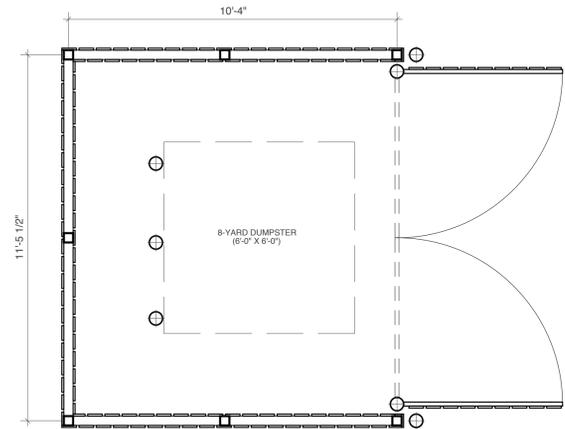


4. West Elevation

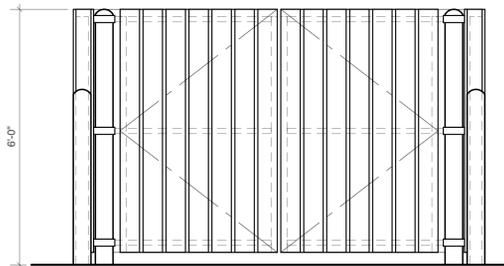
SCALE: 1/16" = 1'-0"
0' 8' 16' 32'

Exterior Materials Legend

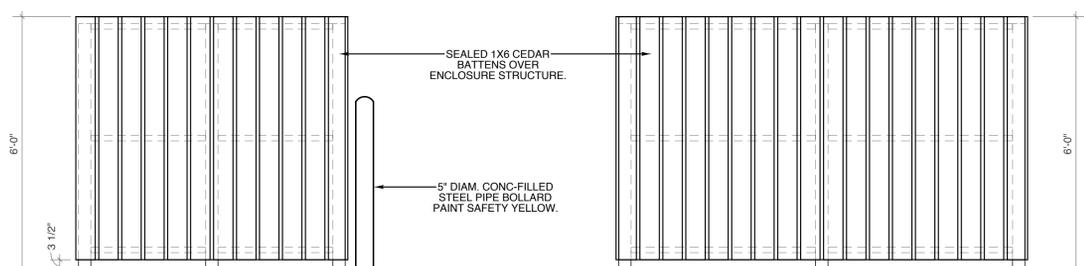
LABEL	MATERIAL	MANUFACTURER	STYLE	COLOR
1	CONCRETE MASONRY VENEER	CONSUMERS	SPLIT FACE, 8X8X16	TBD
2	CONCRETE MASONRY VENEER	CONSUMERS	SPLIT FACE, 8X8X16	GRAY
3	METAL SIDING PANEL	PEMB MANUFACTURER	EXPOSED FASTENER	TBD
4	BREAK METAL CANOPY	PEMB MANUFACTURER	TBD	TBD
5	PREFINISHED METAL TRIM	PEMB MANUFACTURER	STANDARD PROFILE	TBD
6	STANDING SEAM METAL ROOF	PEMB MANUFACTURER	TBD	TBD
7	ALUMINUM STOREFRONT SYSTEM	TBD	4-1/2" X 2"	TBD
8	HOLLOW METAL DOOR	TBD	TBD	TBD
9	OVERHEAD DOOR	TBD	TBD	TBD
10	WALL PACK EXTERIOR LIGHT FIXTURE	TBD	TBD	TBD
11	GALVANIZED STEEL BOLLARD	TBD	TBD	TBD
12	ALUMINUM GUTTER / DOWNSPOUT	PEMB MANUFACTURER	TBD	TBD
13	STEEL GUARDRAIL	TBD	TBD	TBD
14	EXPOSED CONCRETE FOUNDATION	-	RUBBED	EXP
15	ARCHITECTURAL PANEL	TBD	TBD	TBD



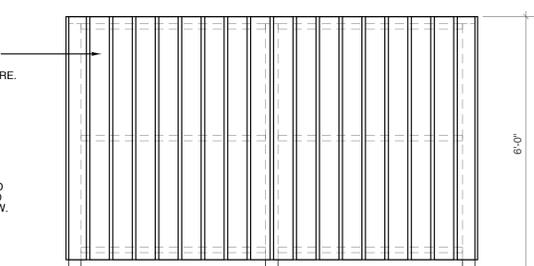
1. Dumpster Enclosure Plan
SCALE: 3/8" = 1'-0"
0' 1'-4" 2'-8" 5'-4"



2. Front Elevation
SCALE: 1/2" = 1'-0"
0' 1' 2' 4'



3. Side Elevation
SCALE: 1/2" = 1'-0"
0' 1' 2' 4'



4. Rear Elevation
SCALE: 1/2" = 1'-0"
0' 1' 2' 4'



Community Development Memo

DATE: May 22, 2020
TO: Planning Commission
FROM: Stacey Fedewa, AICP – Community Development Director
RE: Minor PUD Amendment – Lakeshore Flats Apartments – Entrance Sign

BACKGROUND

In August 2018, the Township approved a 156-unit apartment complex on the former Tysman landscaping property. Construction is well underway, and the complex is beginning to receive occupancy permits. To view the Lakeshore Flats website, visit www.lakeshoreflats.com.

REQUEST FOR MINOR PUD AMENDMENT

The developer has requested a Minor PUD Amendment to change the entryway sign that was approved as part of the PUD.

Approved Sign = 18 sqft



Proposed Sign = 23.5 sqft



Developer's Position

As background, the sign concept included in the PUD was taken from The Apartments at Sauk Trail, which is a community we built in Coldwater which was wrapping up when Lakeshore Flats was going through its approvals (Marc from Sign Center did the Sauk Trail sign for us also).

The Sauk Trail was a Native American trade route that connected Detroit to Chicago and ran through Coldwater. The top of the Sauk Trail sign is irregular and uneven because it's meant to be a visual representation of the path from Chicago to Detroit. The inclusion of the compass is in keeping with this navigation theme.

As we made the switch from Lakeshore Gardens to Lakeshore Flats and thought about developing an identify for Lakeshore Flats, it became clear that the symbolism embedded in the Sauk Trail design wasn't applicable. The concept that we're seeking approval for complements the signage that already exists throughout Lakeshore Flats in terms of fonts, style, imagery, and color scheme and is reflective of contemporary, upscale apartment living in a lakeshore community.

Staff's Position

The approved sign is attractive and can easily be modified to address the developer's concerns—replace the compass with the circular/wave design that has been created for the Lakeshore Flats and change the “irregular and uneven” top of the stone to a different shape if desired.

Staff is concerned the cost savings provided by the Township during the approval process was used to build upscale luxury units with stainless steel appliances and granite countertops; and are now requesting another cost savings by decreasing the quality of the entryway sign.

Staff recommends the Planning Commission deny the Minor PUD Amendment request and require the developer to install the approved entryway sign that can be tailored to fit the Lakeshore Flats identity.

SAMPLE MOTIONS

The Planning Commission will need to select one of the two options below:

Motion to **deny** the proposed Minor PUD Amendment to change the entryway signage of the Lakeshore Flats Apartments development.



Motion to recommend the Board **approve** the proposed Minor PUD Amendment to change the entryway signage of the Lakeshore Flats Apartments development.

Please let me know if this raises questions.

Exhibit 1: Proposed Sign Design
(1 of 1)

62"

LAKESHORE FLATS monument

- custom aluminum cabinet with flanged panel
- illuminated push-thru acrylic letters
- dimensional 2-color logo
- masonry base with Country Ledgestone flat stack veneer
- "Skyline" or closest match plate-match on foundation w/ anchors
- foundation at grade



LAKESHORE FLATS PROPERTY ENTRANCE SIGN
23.25 square foot



To: Grand Haven Township Planning Commission
From: Terry Nash c/o Lakeshore Gardens Apartments, LLC
Date: May 18, 2020
Subject: Request for Approval of Monument Sign Design

We're requesting the Commission's approval of two requests.

- First, we're requesting that the Commission approve the attached sign design (Exhibit 1), which constitutes a minor PUD amendment.
- Second, we're requesting that the Commission require Staff to publicly retract three inaccurate claims that were made in two separate memos recommending denial of our sign design. The Staff memos are dated April 15, 2020 and May 7, 2020, and the three claims are:
 - That we committed to offering a rent level that – in Staff's opinion – is affordable.
 - That Staff granted architectural and building material concessions in exchange for that rent commitment.
 - That our current rent levels are not affordable.

Because each of these claims is false, Staff's rationale for recommending denial is not valid.

Also, because of the misleading impressions left by Staff's inaccurate claims, a public retraction is necessary and appropriate.

The following is a description of our proposed sign design along with a brief summary refuting each of Staff's claims. Also included as addenda are a more detailed memo to the Planning Commission dated May 8, 2020 and a corresponding set of exhibits.



DESCRIPTION OF UPDATED SIGN DESIGN

Our sign is comprised of a custom aluminum cabinet on an aluminum base. The lettering is internally-illuminated, pushed-through acrylic, and our logo is depicted two-dimensionally on a flanged panel that creates additional depth and texture throughout the sign.

The design was modified following the May 11, 2020 Township Board meeting. The first modification was to reduce the size to fit within the 24 square foot limitation contained in the sign ordinance. The second modification was to add stone veneer to the base of the sign. The result is a high quality, attractive sign that conveys style and class.

REFUTING CLAIMS MADE IN STAFF’S DENIAL RECOMMENDATIONS

Below is a table showing how each of the claims cited earlier is misleading, inaccurate, or outright false. Additional discussion and reference material can be found in the May 8, 2020 memo and the exhibits that accompany it.

Claim	Reality
<p>#1. Staff claims that we committed to rents that meet an ambiguous threshold of affordability that Staff has never defined.</p>	<p>The minutes from the February 19, 2018 Planning Commission meeting state that the developer “<u>only intends to provide market-rate rent that leans toward affordable. Have not requested government subsidies or tax breaks, so does not intend to offer subsidized low-income rates.</u>” (Exhibit 2, Page 8).</p> <p>This was in response to a February 16, 2018 memo from Staff that required the establishment of a “rent control” mechanism in order to ensure long-term affordability. This occurred <u>five months before</u> the project was approved by the Commission in July 2018.</p> <p>Then, in a May 31, 2018 memo to the Planning Commission, Staff explicitly states that “<u>no guarantees are being made for the rental prices.</u>”</p>

(cont'd)	<p>So, at the time of Planning Commission approval in July 2018, <u>Staff had been aware for five months</u> of where we expected our rents would be once we were in a position to secure final construction pricing.</p>
<p>#2. Staff claims that they granted concessions related to architectural variety and building materials in exchange for a commitment regarding rents.</p>	<p>In a February 16, 2018 memo, Staff required that we add windows to the clubhouse and stone veneer to the apartments because “anything less is not cohesive with any of the other 3 complexes within the Township.”</p> <p>In other words, <u>Staff held us to comparable standards as other apartment communities</u>. We were not given “concessions.”</p> <p>Further, in the same May 31, 2018 memo to the Planning Commission cited above, Staff writes: “Departure requests are extremely minimal – there are only two.” Neither of these two were controversial and neither was related to architectural variety or building materials. Later in that memo, Staff acknowledges that “technically, the architectural variety is met when viewing the site plan.”</p>
<p>#3. Staff claims that our rents aren’t affordable by citing a metric that doesn’t measure affordability.</p>	<p>According to MSHDA’s criteria, our units are affordable for households earning between 52% - 70% of the median income for Ottawa County. This translates to household incomes ranging from \$31K - \$53K annually. It is clear that Lakeshore Flats has increased the number of affordable housing options in the Township.</p> <p>Staff’s claim that our rents aren’t affordable was based on a comparison of rents per square foot (“PSF”). Staff’s analysis</p>

<p>(cont'd)</p>	<p>suffered from several fatal flaws, including comparing our brand new units with ones that are 15+ years old without making any adjustments for age. More concerning was that a Piper Lakes data point that was <u>13% higher than our rents</u> <u>was excluded from Staff's analysis</u>, presumably because it would have undermined Staff's claim that our rents are exorbitant.</p> <p>Correcting for Staff's errors shows that we stack up very well on a Rent PSF basis. That said, Rent PSF is the wrong metric to use for measuring affordability because it doesn't say anything about the relationship of rent to income. This is why we relied upon MSHDA's criteria.</p>
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Exhibit 1: Proposed Sign Design
(1 of 1)

62"

LAKESHORE FLATS monument

- custom aluminum cabinet with flanged panel
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- "Skyline" or closest match plate-match on foundation w/ anchors
- foundation at grade



LAKESHORE FLATS PROPERTY ENTRANCE SIGN
23.25 square foot

MEETING MINUTES
GRAND HAVEN CHARTER TOWNSHIP
PLANNING COMMISSION
FEBRUARY 19, 2018

I. CALL TO ORDER

Wilson called the meeting of the Grand Haven Charter Township Planning Commission to order at 7:00 p.m.

II. ROLL CALL

Members present: Wilson, LaMourie, Taylor, Chalifoux, Hesselsweet and Wagenmaker

Members absent: Kieft, Cousins, and Reenders

Also present: Community Development Director Fedewa, Attorney Bultje, and Assistant Zoning Administrator Hoisington

Without objection, Wilson instructed Fedewa to record the minutes.

III. PLEDGE TO THE FLAG

IV. APPROVAL OF MINUTES

Without objection, the minutes of the February 5, 2018 meeting were approved.

V. CORRESPONDENCE

- Crockery Township – Notice of Intent to Create Sub-Area Plan for SW Quadrant

VI. PUBLIC COMMENTS – None

VII. PUBLIC HEARING

A. PUD – Commercial – Robbins Centre Pointe

Wilson opened the public hearing at 7:04pm.

Fedewa provided an overview through a memorandum dated February 16th.

The project engineer Justin Longstreth, architect Jim Ramey, and developers Bill Bowling and Keith Walker were present and available to answer questions:

- Explained revisions to site plan to comply with the comments received from the traffic study, the February 5th planning commission discussion, the February 13th joint planning commission meeting, and the February 16th meeting with township and city staff regarding the driveway placement.
- Concern was raised about the number of parking spaces if multiple food service businesses would be tenants:
 - Pizza Hut’s franchising now has buildings 1/3 of their typical size, so the focus is no longer on dine-in.
 - Not a “food heavy” development site

- Explanation of proposal to relocate the entrance to Whittaker Way and the coordination that will be needed with Health Pointe and Meijer.

There being no further comments, Wilson closed the public hearing at 7:20pm.

VIII. OLD BUSINESS

A. PUD – Commercial – Robbins Centre Pointe

The application was discussed by the Commissioners and focused on:

- Concerns were raised again regarding the proposed location of the main entrance on Robbins Road and how it aligns with Walgreens.
- Concern was raised about stacking and vehicle storage at the main entrance because there is not enough throat depth.
- Results of traffic study were reviewed.
- Right-in/right-out option was discussed, which would include the installation of a “pork chop” curb to prevent left-in turn movements.
 - Others expressed this is not a desirable option because there are no other locations to make a left-turn onto westbound Robbins Road along the segment between US-31 and 172nd Avenue.

Motion by Taylor, supported by Wagenmaker, to recommend the Township Board **conditionally approve** the Robbins Centre Pointe PUD application. This is based on the application meeting the requirements and standards set forth by the Grand Haven Charter Township Zoning Ordinance, Master Plan, and Joint Robbins Road Corridor Plan. The motion is subject to, and incorporates, the following report concerning the Planned Unit Development, including conditions of approval. **Which motion carried**, with LaMourie voting in opposition because of access management, and indicated by the following roll call vote:

Ayes: Taylor, Wagenmaker, Wilson, Chalifoux, Hesselsweet
 Nays: LaMourie
 Absent: Cousins, Kieft, Reenders

REPORT – ROBBINS CENTRE POINTE PUD

Pursuant to the provisions of the Grand Haven Charter Township (the “Township”) Zoning Ordinance (the “Zoning Ordinance”), the following report of the Grand Haven Charter Township Planning Commission (the “Planning Commission”) concerning an application by Robbins Centre Pointe, which is comprised of Robbins Road Real Estate LLC and Bowling Family Investment LLC (the “Developers”) for approval of a Planned Unit Development (the “Project” or the “PUD”).

The Project will consist of six commercial buildings. The first phase being the existing gas station, which was approved via a Special Land Use application on 4/17/2017, and is hereby being incorporated into the Project. The second phase will be a 14,675 square foot multi-tenant retail building (denoted as “Building S” on the Project plans). The future phases will include four additional retail buildings, one of which could be a restaurant. These future phases are to be constructed as market demands.

The Project as recommended for approval is shown on a final site plan, last revised 2/16/2018 (the “Final Site Plan”), final civil plans, last revised 1/18/2018 (the “Final Civil Plans”), and final architectural plans, last revised 1/24/2018 (the “Final Architectural Plans”); collectively referred to as the “Documentation,” presently on file with the Township.

The purpose of this report is to state the decision of the Planning Commission concerning the Project, the basis for the Planning Commission’s decision, and the Planning Commission’s decision that the Robbins Centre Pointe PUD be approved as outlined in this motion. The Developers shall comply with all of the Documentation submitted to the Township for this Project. In recommending the approval of the proposed PUD application, the Planning Commission makes the following findings pursuant to Section 17.04.3 of the Zoning Ordinance:

1. The Project meets the site plan review standards of Section 23.06 of the Zoning Ordinance. Specifically, pursuant to Section 23.06.7, the Board finds as follows:
 - A. The uses proposed will not adversely affect the public health, safety, or welfare. Uses and structures located on the site take into account topography, size of the property, the uses on adjoining property and the relationship and size of buildings to the site.
 - B. The site will be developed so as not to impede the normal and orderly development or improvement of surrounding property for uses permitted in this ordinance.
 - C. Safe, convenient, uncontested, and well defined vehicular and pedestrian circulation is provided for ingress/egress points and within the site. Drives, streets and other circulation routes are designed to promote safe and efficient traffic operations within the site and at ingress/egress points.
 - D. The arrangement of public or private vehicular and pedestrian connections to existing or planned streets in the area are planned to provide a safe and efficient circulation system for traffic within the township.
 - E. Removal or alterations of significant natural features are restricted to those areas which are reasonably necessary to develop the site in accordance with the requirements of this Ordinance. The Planning Commission has required that landscaping, buffers, and/or greenbelts be preserved and/or provided to ensure that proposed uses will be adequately buffered from one another and from surrounding public and private property.
 - F. Areas of natural drainage such as swales, wetlands, ponds, or swamps are protected and preserved insofar as practical in their natural state to provide areas for natural habitat, preserve drainage patterns and maintain the natural characteristics of the land.
 - G. The Documentation provides reasonable visual and sound privacy for all dwelling units located therein and adjacent thereto. Landscaping shall be used, as appropriate, to accomplish these purposes.
 - H. All buildings and groups of buildings are arranged so as to permit necessary emergency vehicle access as requested by the fire department.
 - I. All streets and driveways are developed in accordance with the Ottawa County Road Commission and City of Grand Haven specifications, as appropriate.
 - J. Appropriate measures have been taken to ensure that removal of surface waters will not adversely affect neighboring properties or the public storm drainage system. Provisions have been made to accommodate storm water, prevent erosion and the formation of dust.
 - K. Exterior lighting is arranged so that it is deflected away from adjacent properties and so it does not interfere with the vision of motorists along adjacent streets, and consists of sharp cut-off fixtures.
 - L. All loading and unloading areas and outside storage areas, including areas for the storage of trash, which face or are visible from residential districts or public streets, are screened.
 - M. Entrances and exits are provided at appropriate locations so as to maximize the convenience and safety for persons entering or leaving the site.

- N. The Documentation conform to all applicable requirements of County, State, Federal, and Township statutes and ordinances.
 - O. The general purposes and spirit of this Ordinance and the Master Plan of the Township are maintained.
2. The Planning Commission finds that the Project meets the intent for a PUD, as described in Section 17.01.3 of the Zoning Ordinance. By approving this Project as a PUD, the Township will be able to negotiate various amenities and design characteristics as well as additional restrictions with the Developer, as described in this report, which the Township would not be able to negotiate if the PUD Chapter of the Zoning Ordinance was not used.
 3. Section 17.01.5, Section 17.02.1.B.1-4 of the Zoning Ordinance, as well as Section 503 of the Michigan Zoning Enabling Act, allow for departures from Zoning Ordinance requirements; these provisions are intended to result in land use development that is substantially consistent with the goals and objectives of the Township Master Plan and the Zoning Ordinance, and consistent with sound planning principles. The Developers have requested six departures. The Planning Commission makes the following findings.
 - A. Sections 15A.061 and 15A.06.2 – allow a total of four driveways; one – Whittaker Way, two – Robbins Road, and one – 172nd Avenue.
 - The Planning Commission finds this acceptable because the proposed access management plan is compliant, and supports, the Robbins Road Sub-Area Plan and Joint Robbins Road Corridor Plan. As well as, providing shared access to adjoining uses. Further, the proposed access management plan eliminates the continuous access along Robbins Road.
 - Further, the Planning Commission already approved the gas station as a special land use, finding that it significantly improved the prior access for the predecessor gas station.
 - B. Section 15A.06.7 – allow reduction in spacing standards for signalized non-trunkline street.
 - The Planning Commission finds this acceptable because the curb-cuts are existing, and without keeping those driveways certain areas of the Project site would be unbuildable because they would be too narrow.
 - C. Section 15A.10.5 – allow interior landscape islands to be 9-foot wide.
 - The Planning Commission finds this acceptable because it will maximize the parking on-site while still providing for visual and paving breaks.
 - D. Sections 15A.10.3 – allow certain areas of landscaping to be adjacent to building walls rather than abutting said walls.
 - The Planning Commission finds this acceptable because it will provide flexibility in placement of door openings, reduce the likelihood of trip hazards along the main walking path, allow pedestrians to circulate farther away from vehicular traffic, and make snow removal easier. The planting areas consist of ornamental trees and shrubs to soften the visual appearance of the buildings from public roads.
 - E. Section 24.04.2 – allow the main drive aisle to be 27-feet in width.
 - The Planning Commission finds this acceptable because this increased width is along the main entrance from Robbins Road, which will provide additional space for the high traffic corridor, and will allow more space for passing vehicles and/or delivery trucks.
 - F. Section 20.13.5.H – allow certain native tree species to be planted in “clumps,” which collectively exceed the 3” caliper requirement and/or at a minimum caliper size of 2½” measured 6” above grade.
 - The Planning Commission finds this acceptable because it is the Township’s preference to plant native species, and these trees either grow better in “clumps” or are only available in the smaller caliper size.
 4. Compared to what could have been constructed by right, the Project has been designed to accomplish the following objectives from Section 17.01.4 of the Zoning Ordinance:

- A. The Project will encourage the use of land in accordance with its natural character and adaptability;
 - B. The Project will promote innovation in land use planning and development;
 - C. The Project will promote the enhancement of commercial employment and traffic circulation for the residents of the Township;
 - D. The Project will promote greater compatibility of design and better use between neighboring properties; and
 - E. The Project will promote more economical and efficient use of the land while providing the integration of necessary commercial facilities.
5. The Project meets the following qualification requirements of Section 17.02 of the Zoning Ordinance:
- A. The Project meets the minimum size of five (5) acres of contiguous land.
 - B. The Project site has distinct physical characteristics and a prior development history which makes compliance with the strict requirements of the Zoning Ordinance impractical.
 - C. The PUD design substantially moves forward the Intent and Objectives of Section 17.01 of the Zoning Ordinance.
6. The Planning Commission also finds the Project complies with the general PUD Design Considerations of Section 17.05 of the Zoning Ordinance:
- A. The storm water management system for the Project and the drainage facilities will properly accommodate storm water on the site, will prevent run off to adjacent properties, and are consistent with the Township's groundwater protection strategies.
 - B. The Project will not interfere with or unduly burden the water supply facilities, the sewage collection and disposal systems, or other public services such as school facilities, park and recreation facilities, etc.
 - C. Utility services within the Project shall be underground. This includes but is not limited to electricity, gas lines, telephone, cable television, public water and sanitary sewer.
 - D. The internal road system in the Project is designed to limit destruction of existing natural vegetation and to decrease the possibility of erosion.
 - E. Vehicular circulation, traffic and parking areas have been planned and located to minimize effects on occupants and users of the Project and to minimize hazards to adjacent properties and roadways.
 - F. Parking requirements for each use have been determined to be in accordance with Chapter 24 (Parking, Loading Space, and Signs).
 - G. Street lighting will be installed in the same manner as required under the Township's Subdivision Control Ordinance.
 - H. Consideration was given to the bulk, placement, architecture, and type of materials to be compatible with like buildings within the PUD as well as generally compatible with buildings in the general vicinity.
 - I. Mechanical and service areas are visually screened from adjacent properties, public roadways, or other public areas.
 - J. Building walls greater than 50-feet in horizontal length, and walls which can be viewed from public streets, are constructed using a combination of architectural features, building materials, and landscaping near the walls.
 - K. On-site landscaping abuts, or is near the building walls, combined with architectural features significantly reduce the visual impact of the building mass as viewed from the street.
 - L. The predominant building materials have been found to be those characteristic of Grand Haven Charter Township such as brick, wood, native stone and tinted/textured concrete masonry units and/or glass products.

- M. Landscaping, natural features, open space and other site amenities have been located in the Project to be convenient for occupants of, and visitors to, the PUD.
 - N. The Project is reasonably compatible with the natural environment of the site and the adjacent premises.
 - O. The Project will not unduly interfere with the provision of adequate light or air, nor will it overcrowd land or cause an unreasonably severe concentration of population.
 - P. Exterior lighting within the Project complies with Chapter 20A for an LZ 3 zone.
 - Q. All outdoor storage, if any, is screened.
 - R. Signage conforms to Chapter 24, unless specific modifications are made by the Township Board, after recommendation from the Planning Commission.
 - S. The Project will not have a substantially detrimental effect upon or substantially impair the value of neighborhood property, as long as all of the standards and conditions of this approval of the Project are satisfied.
 - T. The Project is in compliance with all applicable Federal, State, County, and local laws and regulations. Any other permits for development that may be required by other agencies shall be available to the Township before construction is commenced.
 - U. The Project meets the access provision regulations, and creates shared access with other adjoining uses.
 - V. The Project is consistent with the goals and objectives of the Master Land Use Plan. Specifically, it is consistent with the Master Plan designation of the property in question.
7. The Planning Commission also finds the Project complies with the US-31 and M-45 Area Overlay Zone findings and statement of purpose found in Section 15A.01 of the Zoning Ordinance:
- A. Accommodates a variety of uses permitted by the underlying zoning, but ensure such uses are designed to achieve an attractive built and natural environment.
 - B. Provides architectural and site design standards that are more demanding than required elsewhere in the Township in order to promote harmonious development and complement the natural characteristics in the western sections of the Township.
 - C. Promotes public safety and efficient flow of vehicular traffic by minimizing conflicts from turning movements resulting from the proliferation of unnecessary curb cuts and driveways.
 - D. Ensures safe access by emergency vehicles.
 - E. Encourages efficient flow of traffic by minimizing the disruption and conflicts between through traffic and turning movements.
 - F. Preserve the capacity along US-31/M-45 and other roads in the Overlay Zone by limiting and controlling the number and location of driveways, and requiring alternate means of access through shared driveways, service drives, and access via cross streets.
 - G. Reduces the number and severity of crashes by improving traffic operations and safety.
 - H. Requires coordinated access among adjacent lands where possible.
 - I. Provides landowners with reasonable access, although the access may be restricted to a shared driveway, service drive, or via a side street, or the number and location of access points may not be the arrangement most desired by the landowner or applicant.
 - J. Requires demonstration that prior to approval of any land divisions, the resultant parcels is accessible through compliance with the access standards herein.
 - K. Preserves woodlands, view sheds, and other natural features along the corridor.

- L. Ensures that distractions to motorists are minimized by avoiding blight and clutter while providing property owners and businesses with appropriate design flexibility and visibility.
 - M. Implements the goals expressed in the US-31/M-45 Corridor Study.
 - N. Establishes uniform standards to ensure fair and equal application.
 - O. Addresses situations where existing development within the Overlay Zone does not conform to the standards of this chapter.
 - P. Promotes a more coordinated development review process with the Michigan Department of Transportation and the Ottawa County Road Commission.
8. The Planning Commission also finds the Project shall comply with the below additional conditions as well.
- A. All transformers or other ground equipment shall be screened with live conifer landscape material that is a minimum 24” in height at time of planting, or taller if necessary to fully screen the object.
 - B. The proposed wall pack lighting on Building S, and all future buildings, shall be sharp cut off and downcast. Plans shall be revised accordingly.
 - C. The Developer shall be a signatory on the requested 425 Agreement.
 - D. The necessary descriptions and sketches shall be provided for the 425 Agreement.
 - E. The Developers shall enter into a PUD Contract with the Township. The Contract shall be reviewed and approved by the Township Board prior to the issuance of building permits.
 - F. Approval and compliance with all requirements set forth by the OCRC, OCWRC, and City of Grand Haven, etc. No building permits shall be issued until all permits have been obtained.
 - G. A shared access and maintenance agreement for the connection to Whittaker Way shall be drafted by the Developer, and then reviewed, and approved by Township Attorney Bultje. The Developers shall submit a copy of the document recorded at the Ottawa County Register of Deeds. No certificates of occupancy shall be issued until the condition is met.
 - H. An easement, or shared access and maintenance agreement for the connection to the western retail property at 948 Robbins Road shall be drafted by the Developer, and then reviewed, and approved by Township Attorney Bultje. The Developers shall submit a copy of the document recorded at the Ottawa County Register of Deeds. No certificates of occupancy shall be issued until the condition is met.
 - I. A sidewalk easement shall be drafted by the Developer, and then reviewed, and approved by the Township and City Attorney’s. The Developers shall submit a copy of the document recorded at the Register of Deeds. No certificates of occupancy shall be issued until the condition is met.
 - J. The “pork chop” curb shall be installed within the main entrance on Robbins Road to prevent inbound left-turns.
9. The Planning Commission finds the Project complies with the uses permitted for a commercial planned unit development, as described in Section 17.08.2.A of the Zoning Ordinance—Retail Businesses where no treatment or manufacturing is required.
10. The Planning Commission finds the Project shall receive the following considerations to improve the approval process currently required for multi-phased commercial developments:
- A. The overall project, design, and concept are approved; and future phases are only subject to Site Plan Review with the Planning Commission. This would be applicable, so long as they occur within 1-year of each other. For example, to be eligible for the Site Plan Review route, the next phase would need to be presented prior to April 1, 2019. If the following phase was presented on 9/1/2019, the phase after that would have to be presented prior to 9/1/2020.
 - B. Basic site plan conversions to Options A-2, B-1, and B-2 subject to being approved administratively by the Zoning Administrator. If this occurs, notification of said conversion will be provided to the Planning Commission and Township Board.

IX. NEW BUSINESS

A. PUD – Mixed Use – Apartments at Robbins Road & Self Storage

Fedewa provided an overview through a memorandum dated February 16th.

Developers Chad Bush, Ben Robbins, and Terry Nash; along with engineer Brian Sinnott and architect Mark Oppenhuizen were present and available to answer questions.

Fedewa noted that staff and developers are at an impasse based on the content of an email received February 16th, which was included in the staff memo. It is apparent the original representations of the PUD are no longer to be included to the extent anticipated by the Township, which impacts the scope of the project and how it is reviewed by staff

A summary of the development teams position includes:

- Numerous items being requested were not discussed previously.
- **Only intend to provide market-rate rent that leans toward affordable. Have not requested government subsidies or tax breaks, so does not intend to offer subsidized low-income rates.**
- Refuses to demolish or sell existing storage units on 172nd Avenue.
- Unwilling to provide additional building materials to the apartments such as stone because it will increase their construction costs, and believe current design suffices.
- Believe a \$20 million investment into the project is the benefit, and departures should be granted.
- Intend to make some of the revisions identified by staff in their February 16th plan review memo.
- Rear 5-acres of project site is zoned industrial, and storage units could be constructed in that location without PUD approval.

A summary of staff, the attorney, and Planning Commissions position include:

- Contested items have been mentioned beforehand, but were not a point of focus.
- A rental rate of \$650-850 was identified in August 2017, during the pre-application meeting; but new pricing is \$800-1,100 which is no longer affordable based on information received from the Neighborhood Housing Services program.
- Shared access points are mandated by the zoning ordinance, joint corridor plan, and fire/rescue for emergency purposes.
- It is unusual to request a mixed-use PUD that includes residential and industrial storage. Without a direct benefit, such as demolishing or selling the nonconforming storage units on 172nd Avenue, the Township cannot authorize a departure to allow such an unusual combination of uses.

- Similarly, no departures can be granted unless there is a benefit being provided in exchange.
- Uncomfortable with the amount of density being proposed without a second point of access.
- If storage units are not approved, tenants can rent garage space for storage.
- Directed development team to consider all feedback provided from staff, the joint planning commission meeting, and the current discussion, and to revise plans accordingly.

X. REPORTS

- A. Attorney Report – None
- B. Staff Report

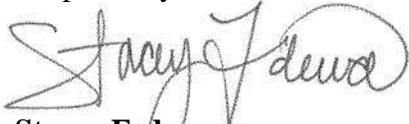
- The Zoning Ordinance Update Committee will meet March 22nd @ 6pm
- C. Other – None

XI. EXTENDED PUBLIC COMMENTS – None

XII. ADJOURNMENT

Without objection, the meeting adjourned at 8:44 pm.

Respectfully submitted,



Stacey Fedewa
Acting Recording Secretary

Exhibit 2
(9 of 9)



To: Grand Haven Township Planning Commission
From: Terry Nash c/o Lakeshore Gardens Apartments, LLC
Date: May 8, 2020
Subject: Request for Approval of Monument Sign Design

The purpose of this memo is to request the Commission’s approval of the attached monument sign design (Exhibit A) for the Lakeshore Flats apartment community. This memo will respond to the denial recommendation issued by Community Development Department staff (“Staff”) as described in an e-mail dated April 15, 2020 from Stacey Fedewa to Chairman Cousins and Supervisor Reenders (Exhibit B).

EXECUTIVE SUMMARY

This memo consists of an Executive Summary followed by 7 sections and several exhibits. Below is a summary of the key points from each section

Section I: Staff’s Justification for Denial

- Staff acknowledges that our request qualifies as a minor amendment (Exhibit B).
- Nonetheless, Staff recommends denial for three related reasons.
 - First, Staff claims that we made a commitment to achieve a certain rent level at the time the PUD was approved in July 2018.
 - Second, Staff claims that they granted “concessions” in the form of lesser architectural and building material requirements in exchange for our rent commitment.
 - Third, Staff claims that our rents aren’t affordable, meaning that we violated our commitment and should not be given another “concession” related to our sign.
- All three of Staff’s claims are demonstrably false.
- Because Staff’s claims are false, Staff’s basis for recommending denial is invalid.
- As a result, we’re requesting that the Commission overrule Staff’s recommendation and approve our sign design.



Section II: Affordability

- Staff uses rent per square foot (“PSF”) to measure affordability.
- Rent PSF is not a relevant measure of affordability, because it doesn’t say anything about the relationship of rent to income.
- Further, landlords don’t rent apartments by the square foot. They rent entire units. Rent of \$1.00 PSF on a 1,000 square foot unit isn’t helpful to someone who can only afford \$900.
- Nonetheless, Staff cites the high PSF rent of our studio units as proof that our rents aren’t affordable.
- Smaller units like our studios should be expected to have higher PSF costs and, therefore, higher PSF rents. This is due to fixed infrastructure costs being spread over less square footage.
- In addition, rental rates need to be adjusted when comparing two projects of significantly different age.
- Despite this, Staff compared our brand new studio units to units that are twice the size of our studios and more than 15 years old.
- Not surprisingly, the older, larger units showed lower PSF rents, so Staff arrived at the incorrect conclusion that our rents aren’t affordable.
- In its analysis, Staff omitted the 1-bedroom units at Piper Lakes, where the rent PSF is more than 13% higher than our studio units. This omission is especially concerning given that Staff included the 2-bedroom units at Piper Lakes in their analysis.
- When PSF rents for comparable floor plans are placed side-by-side, it becomes clear that Lakeshore Flats is highly competitive in terms of PSF rents (Exhibit D).
- We went through the PSF rent exercise in order to disprove the flawed analysis that led to an incorrect conclusion about our rents. That said, PSF rent still says little about affordability.
- A relevant measure of affordability considers the relationship between rent and income. Therefore, we used MSHDA’s definition of affordability to evaluate our rents (Exhibit C).



- According to MSHDA, our studio units are affordable for individuals earning as little as \$31K annually (52% of the median income in Ottawa County).
- Our 1-bedroom units are affordable for households earning \$44K annually, and our 2-bedroom units are affordable for households earning \$53K annually (70% of county median income).
- A household with two minimum wage earners can nearly afford our 1-bedroom units.
- Nearly 60% of our studio units have been pre-leased even though they won't be ready for occupancy until October. This is real-time proof of market demand for this product at this price point.
- Our studio units were the direct result of collaboration with Ryan Kilpatrick, Executive Director of Ottawa County Housing Next. Ryan routinely cites the Lakeshore Flats studios as a success story when speaking to other groups about strategies to improve affordability.
- In addition, we're leasing 24 units to Gracious Grounds (a local non-profit) at a 10-15% discount for a multi-year term with below-market annual rent adjustments.
- These discounted rents are affordable to households earning 54-64% of Ottawa County median income.
- Despite being a market rate community that receives no tax abatements and is thus under no obligation to reach a mandated affordability threshold, it's absolutely clear and incontrovertible that we're increasing the number of affordable housing options in the Township.

Section III: Pre-PUD Rent Discussions

- In their April 15th e-mail, Staff implies that we performed a bait and switch in terms of our rental rates.
- Staff implies that we misrepresented our rental rates in order to secure concessions that wouldn't have otherwise been granted. Neither of these things is true. We didn't misrepresent our rents, and Staff never granted the concessions they claim.



- In February 2018, we indicated to Staff that we expected rents to be between \$800 - \$1,100 (Exhibit F, Page 3).
- After the project was changed in March 2018 to eliminate the mini-storage and add studio units, we estimated that studio rents would be \$600 (Exhibit G, Page 2).
- So, at the time of the July 2018 Commission meeting where Staff recommended approval of our PUD application, Staff was fully aware of our estimated rental range of \$600 - \$1,100.
- Further, in a May 2018 memo to the Commission, Staff explicitly acknowledged that “no guarantees are being made for rental prices.” (Exhibit G, Page 2)
- In that same memo, Staff also acknowledged that the studio units are a key part of our effort to provide affordable options and that they will “undoubtedly bring a lower price based on a lower floor area.” (Exhibit G, Page 2)
- So, our estimated rental range was \$600 - \$1,100, and our actual range is \$700 - \$1,200.
- This is far from a bait and switch. This was a good faith estimate of rents.
- The main reason the range drifted upward is because we were asked to provide estimates in February 2018 but weren't in a position to lock construction pricing until October 2018.
- Lakeshore Flats was not immune to the sharp cost increases that the construction industry has experienced in recent years. When we finalized pricing in October 2018, our costs were 30% higher than a comparable project we started 24 months prior, which is what our rent estimates were based on.

Section IV: Architectural & Building Material Concessions

- Our original exterior building design included a mix of patterns and colors intended to meet the aesthetic intent of the zoning ordinance in a cost effective way that would help us to maintain lower rents.
- In February 2018, Staff issued a memo requiring us to add stone to the apartment buildings and windows to the clubhouse in order to be “cohesive” with the other apartment communities in the Township. (Exhibit H, Page 5)



- This means that we were held to the same standard as other apartment communities. We were not given “concessions.”
- In its July 2018 memo to the Commission recommending approval of our PUD application, Staff writes that “Departure requests are extremely minimal – there are only two.” (emphasis added) (Exhibit G, Page 3)
- These two departures were uncontroversial, relating to drive aisle width and minimum unit size.
- Neither departure was related to architectural features or building materials.
- Staff’s claims about concessions that were granted are false.

Section V: Sign Design

- Staff’s denial recommendation also suggests that the sign we’re proposing isn’t high quality and implies that it’s “basic plastic/vinyl.” This is another falsehood.
- The sign is comprised of a custom aluminum cabinet on an aluminum base. The lettering is pushed-through acrylic that’s internally illuminated, and our logo is depicted two-dimensionally on a flanged panel that creates additional depth and texture throughout the sign.
- Staff seems to contend that our current sign design costs less than stone and is therefore not a high quality sign.
- This analysis is as misguided as Staff’s contention that low PSF rents make an apartment affordable.
- Staff’s claims about affordability, concessions, and our representations regarding rental rates are false and should be disregarded. Staff’s characterization of our sign design is equally false, and should be disregarded as well.

Section VI: Other Considerations

- In June 2019, I sent an e-mail to Staff requesting approval to change the siding color.
- After installing the original siding on several buildings, we decided that while the color was acceptable, it didn’t provide the richer aesthetic we wanted for the community and our residents.



- We switched to a darker shade at a premium price which also required us to remove and dispose of the original siding that had already been installed.
- This change cost more than \$15,000 and was one that we did voluntarily, proactively, and without any prompting from the Township or anyone else.
- This proves that we care deeply about the aesthetics and image of our community and what it means to our residents.

CONCLUSION

- Staff based its denial **entirely** on broken promises that we never made, an affordability analysis that was profoundly flawed, and on concessions that were never granted.
- We have proven that despite being a market rate community that receives no tax abatements and has no obligation to achieve any specific level of affordability, we've meaningfully increased the number of affordable housing options in the Township.
- We've also demonstrated a willingness to voluntarily invest resources to protect the character of the community, even if it's not the financially optimal thing to do.
- The sign we're proposing is a high quality, attractive, contemporary design with lines, color, and lighting that evokes a beach community culture and aligns with our existing branding.
- As a result, we have earned the benefit of the doubt when it comes to our sign design, and request the Commission's approval.



SECTION I: STAFF’S JUSTIFICATION FOR DENIAL

Staff recommends denial of our request. As justification, Staff insists that the Township approved lesser architectural and building material requirements in exchange for “affordable” rents at Lakeshore Flats. But, since Staff has determined that our rents aren’t affordable, they aren’t inclined to approve our sign design. Below are several direct quotes from the April 15th e-mail (Exhibit B):

- “The Township provided certain concessions to help keep the rental rate lower (*recall the developer described these apartments as affordable*) – by decreasing the requirements for architectural elements and building materials.”
- “The intent of the concessions the Township provided were to contribute to an affordable rental rate, but the developer now has some of the highest prices per square foot.”
- “Because the Township did not receive the intended benefit (affordable rental rates) **staff does not recommend providing another concession**”
- “Although this situation technically falls into the minor amendment category, staff believes there are extenuating circumstances because of the PUD-benefit relationship with affordability and lowered standards for architecture and materials.”

In other words, Staff’s reasoning rests on three assertions

- That we made a commitment to achieve a certain rent level when the PUD was approved.
- That the Township granted concessions in the form of lesser architectural and building material requirements in exchange for our rent commitment.
- That our rents are not affordable, meaning that we did not fulfill our commitment.

However, **none of these assertions are true**. As a result, the entire basis of Staff’s recommendation is invalid, which is why we’re asking the Commission to overrule Staff’s recommendation and approve our request.



SECTION II: AFFORDABILITY

Staff's conclusion about affordability is based on a comparison of per square foot ("PSF") rents. The analysis is flawed on a number of levels, which led to conclusions about Lakeshore Flats that are incorrect and should be disregarded. Below are several points relating to affordability.

Point #1: Lakeshore Flats is Affordable For Households With Income As Low as \$31K

Exhibit C shows how our rents stack up to MSHDA's definition of affordability. In short, Lakeshore Flats is affordable for households earning between \$41K and \$53K annually, which is 70% of the median income in Ottawa County. In fact, our studio units are affordable for individuals earning as little as \$31K annually, or 52% of county median income. Further, our 1-bedroom units nearly meet the affordability threshold for a household of two minimum wage earners.

Point #2: We've Discounted Rents 10-15% On an Entire Building For Gracious Grounds

We value our relationship with Gracious Grounds, which is a local non-profit that provides semi-independent housing options for adults with unique abilities. Despite the fact that our rents are already affordable, we've reduced monthly rents by \$145 in our 1-bedroom units and by \$100 in our 2-bedroom units in a 24-unit building that will be exclusive to Gracious Grounds residents (Exhibit D). We're also providing a multi-year lease with below-market rent escalations to provide additional predictability and peace of mind for Gracious Grounds families. These 24-units comprise 15% of Lakeshore Flats and represent another level of affordable housing options that we're adding to the community.

Point #3: Affordability Depends on Total Rent...Not PSF Rent

PSF rent is not a relevant measure of affordability because it doesn't reveal anything about how much income someone makes compared to how much they'll have to pay in rent.

Let's say that Sam can only afford \$700 per month. Sam sees our 496 square foot studios available for \$700 but no other comparable units in the market. The next cheapest option is a 714 square foot unit for \$800.



The fact that the bigger unit works out to \$1.12 PSF compared to \$1.41 PSF for the studio doesn't matter. The landlord of the bigger unit isn't going to charge Sam for 625 of the 714 square feet just to meet Sam's \$700 budget. He's going to charge the full \$800, which means Sam can't afford it, regardless of how "cheap" it might look on a PSF basis. Instead, Sam will go with the studio unit that he can afford even though it might look "expensive" on a PSF basis.

Our studios are being offered at a lower price point than any comparable unit in the market, increasing the number of affordable housing options for our community. This cannot be credibly refuted.

Point #4: Fixed Infrastructure Means Smaller Units Will Have Higher PSF Costs And Higher PSF Rents

Let's say it costs \$1,000 dollars to run electricity from the street to an apartment. That cost is the same regardless of whether the apartment is 1,000 square feet or 500 square feet. The difference is that for the bigger unit, the cost will be \$1.00 PSF compared to \$2.00 PSF for the smaller unit.

Rents are a function of cost. So, the higher PSF cost of smaller units means higher PSF rents. Since our studios are some of the smallest in the market, it shouldn't be surprising that the PSF rents are on the higher side.

Point #5: Ottawa County Housing Next Specifically Requested That We Incorporate Smaller Units

Our studio units are a direct result of collaboration with Ryan Kilpatrick , Executive Director of Ottawa County Housing Next – a local non-profit dedicated to facilitating different types of affordable housing strategies. Not only was Housing Next highly supportive of our smaller units, they actually wanted us to consider something as small as 350 square feet. Housing Next recognizes that PSF rents will increase as unit size decreases but that total rent is what determines affordability.



Exhibit E is an April 2018 letter from Ryan, expressing strong support for the smaller floor area of our studio units and the unintended consequences of minimum unit size mandates.

“...a minimum size requirement for an apartment will inevitably result in a minimum monthly rent that is higher than it would otherwise need to be.”

“Our understanding is that Main Street Capital is proposing units ranging from 496 square feet and up. This size unit is an industry-wide best practice for efficiency floor plans and is in very short supply in the Grand Haven / Spring Lake market. We are glad to support Main Street Capital in their request for a slightly smaller unit size than is normally permitted in order to achieve greater affordability and broader choice in the market. We hope that you will consider support for their request.”

In his presentations outlining various strategies that have been employed to address affordable housing, Ryan routinely cites the studio units at Lakeshore Flats as a model to follow.

Point #6: Pre-Leasing Activity Proves Market Demand for Studio Units

7 of our 12 studio units are already pre-leased, even though they won't be ready for occupancy until October. They have been our most popular and asked about floor plan thus far, because there is no other comparable option at this price point in our market.

Point #7: Two Apartments Can Both Be Affordable, Even If One is Cheaper

The logic underlying Staff's denial recommendation suggests that an apartment can't be affordable if there's another one that's cheaper. As we've demonstrated, Lakeshore Flats offers affordability for a large cross-section of our community that's underserved in terms of housing options. Rather than criticizing the fact that there may be some units that are more expensive than others, the fact the total number of affordable options for the community has increased is something that should be celebrated.

Point #8: Apples, Oranges, and Missing Data Points

Staff's conclusion that we have “some of the highest prices per square foot” is based almost entirely on a comparison with TimberView. What Staff neglects to mention is that more than 80% of TimberView's units are more than 15 years old. When comparing a brand new property to one that's 15+ years old, the first thing any real estate practitioner would do is make an



adjustment for age. However, Staff didn't make any such adjustment or even acknowledge that the difference exists. The omission of such a fundamental concept means that any conclusions stemming from that analysis should be disregarded.

The other rent comparables included in Staff's analysis were the 2-bedroom units at Piper Lakes. For some reason, Staff chose not to include the 1-bedroom units at Piper Lakes. That information would have shown that a 605 square foot unit is being offered for \$965, or \$1.60 PSF (Exhibit D). This is more than 13% higher than our studio units...the same units that Staff highlighted when they claimed our rents weren't affordable. It's puzzling to us why the 1-bedroom units at Piper Lakes weren't included in Staff's analysis and recommendation.

Point #9: Staff Acknowledged That Our Studio Units Would Improve Affordability

In a May 31, 2018 memo to the Commission, Staff states the following in a discussion of ways in which Lakeshore Flats will improve affordability:

“The 496 sqft efficiency apartment **will undoubtedly bring a lower price based on the floor area.**” (emphasis added) (Exhibit G, Page 2)

Here, Staff correctly noted that the lower total price of the efficiency units will improve affordability. Staff's current position that low PSF rents determine affordability is contradicted by their own words from two years ago.

SECTION III: PRE-PUD RENT DISCUSSIONS

Point #1: Staff Was Aware Of Estimated Rent Levels Well Before the PUD Was Approved

In its April 15th, 2020 denial recommendation, Staff implied that we misrepresented our intentions in terms of expected rent levels...that we did a bait and switch to secure an approval that Staff wouldn't have otherwise granted and then increased rents when we got that approval. This is entirely false.

In a joint meeting between the Commission and the City of Grand Haven's Planning Commission on February 13, 2018, we estimated that our rental range would be between \$800 and \$1,100 (Exhibit F, Page 3). This was 5 months before the July 16, 2018 Planning



Commission meeting when Staff recommended approval of our PUD application. Then, when the project was overhauled in March 2018 and our studio units were added, we estimated those rents at \$600. In other words, we estimated that our rents would range from \$600 - \$1,100 and our actual rents range from \$700 - \$1,200.

It's critical to recognize that we were asked to provide rent estimates more than 8 months before we were in a position to lock in final construction pricing and 5 months before receiving all of Staff's comments and requirements. A key reason why the rents are higher than estimated is that construction costs for Lakeshore Flats were 30% higher than a comparable project we started 24 months prior. Much of the increase was due to a sharp acceleration in costs seen throughout the construction industry in recent years, and some was due to specific requirements issued by Staff.

In short, we provided good faith rent estimates based on the information available to us at the time and have achieved a level of affordability that's entirely consistent with what we represented. Staff's claims to the contrary have no basis in reality.

Point #2: Staff Acknowledged That Approval Was NOT Based On An Explicit or Implied Commitment To Achieve A Certain Rent Level

To reiterate, our rents are affordable to many in our community that find themselves with limited housing options. But, we pursued that that outcome voluntarily...not because Staff granted concessions that required affordable rents in return.

In their May 31, 2018 memo to the Commission (Exhibit G, Page 2), Staff states that "no guarantees are being made for rental prices."

This refutes Staff's assertion that we misrepresented our intentions in terms of rent in order to secure concessions from the Township.

SECTION IV: ARCHITECTURAL & BUILDING MATERIAL CONCESSIONS

Staff states that they agreed to a lesser standard of architectural features and building materials in exchange for affordable rents that we're not providing. This is also untrue.



Our original plan for exterior building materials included a mixture of beveled, board & batten, and paneled siding in a variety of colors. This was done in order to achieve the aesthetic objectives of the Zoning Ordinance in a cost effective way that would enable us to offer lower rents.

On February 16, 2018, Staff issued their second set of plan review comments regarding Lakeshore Flats (Exhibit H, Page 5). Staff states the following:

“There is no variety in building materials. The entire structures are solely comprised of siding. **Add stone veneer to front walls of buildings similar to Timberview**, and that would be acceptable. Anything less is not cohesive with any of the other 3 apartment complexes in the Township.” (emphasis added)

“A portion of the clubhouse is proposing a stone veneer, but the east elevation, which is highly visible, **either needs additional windows added or to carry the veneer through** to this wall.” (emphasis added)

In other words, Staff did **NOT** provide concessions relating to architectural features and building materials. We were required to meet the same standard as others, which we did.

In fact, in their May 31, 2018 memo to the Commission, Staff stated the following (Exhibit G, Page 3):

“**Departure requests are extremely minimal** – there are only two.” (emphasis added)

One of the departure requests was related to minimum unit sizes, which was uncontroversial because we provided data showing that every apartment community in the area offers unit sizes less than the minimum stated in the Township’s zoning ordinance. The second departure request related to wider drive aisles in order to make maneuvering easier for the wheelchair accessible vans that will need to access the Gracious Grounds building.

In their memo recommending approval of the PUD, **Staff cited no departures or concessions related to architectural elements or building materials because none were given.**



SECTION V: SIGN DESIGN

Staff's April 15th e-mail states that "Staff does not recommend providing another concession" for a sign that, in Staff's opinion, isn't high quality.

We've already discussed how the first half of that statement is untrue. Since no concessions were provided to begin with, granting our request can't be considered "another concession."

The second half of that statement – the idea that our sign isn't high quality – is yet another falsehood. Staff goes on to characterize our sign as "basic plastic/vinyl," which is a severe mischaracterization of our design.

The reality is that the sign is comprised of a custom aluminum cabinet on an aluminum base. The letters are pushed through acrylic that will be internally illuminated, and our logo will be depicted two-dimensionally on a flanged panel separate from the lettering, which creates additional depth and texture.

Staff's conclusion that our sign isn't high quality seems to be based solely on the notion that stone is more expensive than our design, so our design must be low quality. However, just as we illustrated how low PSF rents don't automatically equal affordability, lower cost doesn't automatically equal low quality.

SECTION VI: OTHER CONSIDERATIONS

On June 26, 2019, I sent an e-mail to Staff requesting approval to change the color of our exterior siding (Exhibit I). While the original siding was acceptable, it didn't provide the warmth and feel we wanted, so despite the fact that we'd already finished siding two garage buildings and a significant portion of one of the apartment buildings, we proactively and voluntarily changed course believing it was in the best interest of the project.

The new siding was a much darker shade that was substantially more expensive than the original. The combination of the premium siding plus the siding that had to be removed and disposed of increased our project cost by more than \$15,000. Again, we did this on our own accord without prompting from the Township or anyone else because we care about how our community looks.



Whereas Staff implies that we're willing to compromise the aesthetic appeal of the project to save a few dollars, this example prove the exact opposite is true. We've earned the benefit of the doubt when it comes to our sign design.



LIST OF EXHIBITS

- A. Proposed Monument Sign Design
- B. Staff E-mail Recommending Denial of Sign Design Request – April 15, 2020
- C. Lakeshore Flats Affordability Analysis Based on MSHDA Formula
- D. Rent Comparison of Lakeshore Flats, Piper Lakes, & TimberView
- E. Letter from Ryan Kilpatrick, Ottawa County Housing Next – April 19, 2018
- F. Minutes from Joint Planning Commission Meeting Between the City of Grand Haven and Grand Haven Township – February 13, 2018
- G. Staff Memo to Planning Commission – May 31, 2018
- H. Staff Plan Review Comments No. 2 – February 16, 2018
- I. Terry Nash E-mail to Staff Requesting Siding Color Change – June 26, 2019



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Exhibit A: Proposed Sign Design (1 of 1)

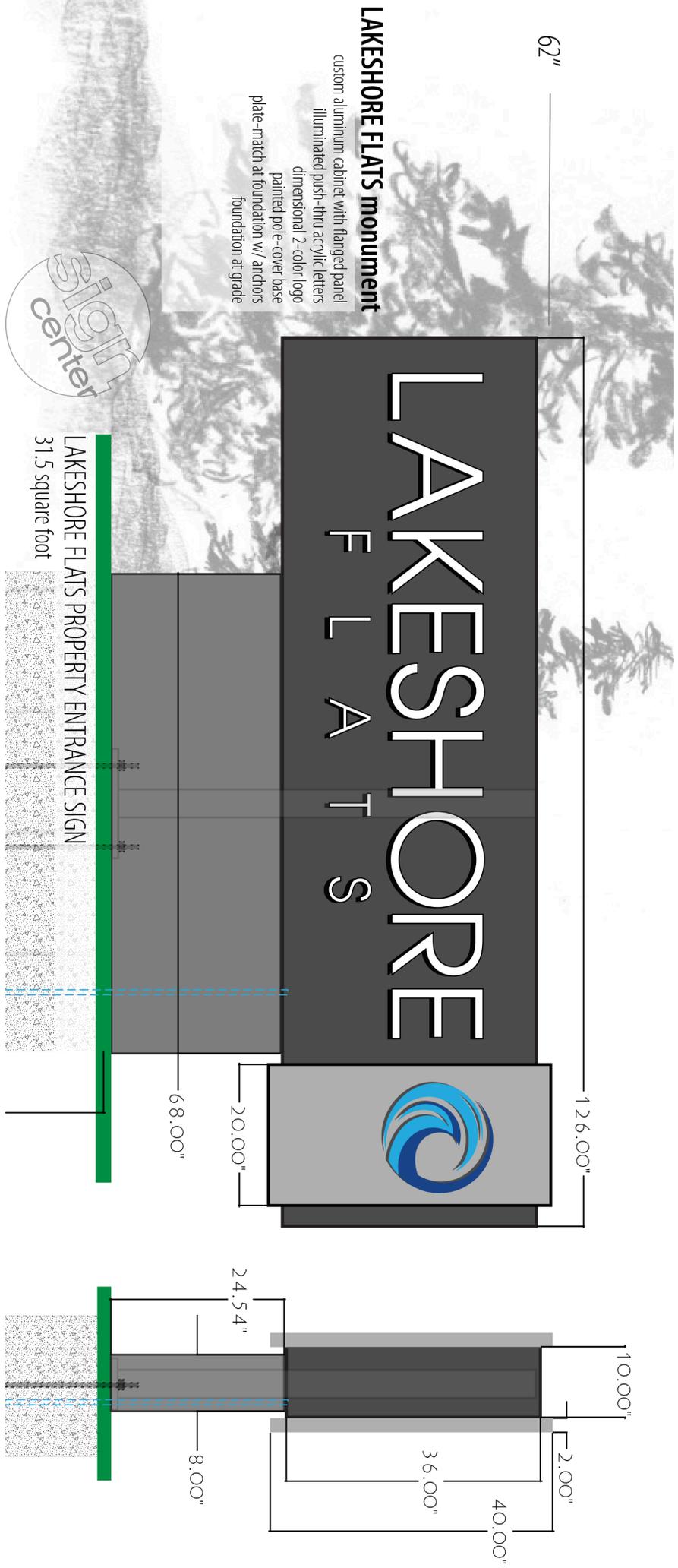


Exhibit B: Staff's Denial Recommendation 4.15.2020 (1 of 3)

On Apr 15, 2020, at 11:02, Stacey Fedewa <SFedewa@ght.org> wrote:

Good afternoon,

Hope you are both doing well during this time.

The developer for the Lakeshore Flats apartments on Robbins Road are requesting to change the entrance signage (*see below and attached*). For a little background info, early in the approval process the applicant provided 2 sign renderings—the stone monument sign for the main entrance and a basic plastic/vinyl for the future businesses to the east. The difference in quality was noticeable and there were quite a few discussions surrounding the signage and the need to use the higher quality sign.

The Township provided certain concessions to help keep the rental rate lower (*recall the developer described these apartments as affordable*)—by decreasing the requirements for architectural elements and building materials. However, as you can see from their website (www.lakeshoreflats.com) each apartment has stainless steel appliances and granite countertops. The intent of the concessions the Township provided were to contribute to an affordable rental rate, but the developer now has some of the highest prices per square foot.

Here is some information that was found by searching the complexes websites:

Lakeshore Flats

Studio, 496 sf, \$700 = \$1.41/sf

1b/1b, 730 sf, \$995 = \$1.36/sf

2b/2b, 947 sf, \$1,195 = \$1.26/sf

2b/2b, 1035 sf, \$1,219 = \$1.18/sf

Timber View

1b/1b, 830-896 sf, \$826-1,018 = \$1.00/sf - \$1.14/sf

2b/2b, 1035-1189 sf, \$925-1,331 = \$0.89/sf - \$1.12/sf

3b/2b, 1145 sf, \$1,357 = \$1.19/sf

Piper Lakes

2b/2b, 994-1106 sf, \$1,295 = \$1.30/sf - \$1.17/sf

Because the Township did not receive the intended benefit (affordable rental rates) **staff does not recommend providing another concession** for a lower quality sign. Instead,

Exhibit B (2 of 3)

the stone monument sign can be redesigned to reflect the new branding for the Lakeshore Flats.

Although this situation technically falls into the minor amendment category, staff believes there are extenuating circumstances because of the PUD-Benefit relationship with affordability and lowered standards for architecture and materials. Whether the Supervisor and/or PC Chair object or if staff determines there are extenuating circumstances, the following provision prevails as the method of final determination:

"Zoning Administrator may seek a decision from the Township Board during a scheduled Board meeting. The Board shall make a decision as to whether the request must be reviewed in the same manner as the original application was submitted or whether the circumstances are such that the actual change should be considered minor. The decision of the Board shall be recorded in the Board minutes and shall be considered final."

Please provide me with your **response by Friday, April 24th**.

Stay well and let me know if this raises further questions.

Stacey Fedewa, AICP
Community Development Director
Grand Haven Charter Township

Sent from my [Outlook](#) for iOS

From: Terry Nash <tnash@coachroadcapital.com>
Sent: Friday, March 20, 2020 11:48 AM
To: Stacey Fedewa
Subject: Lakeshore Flats - Monument Sign Modification Request

Good morning, Stacey,

I'm writing to follow up on some recent dialogue you've had with Marc Rizzolo with The Sign Center, who is handling our signage program at Lakeshore Flats. With this e-mail, I'd like to request approval for the attached design in lieu of the one that was originally submitted with the PUD.

As background, the sign concept included in the PUD was taken from The Apartments at Sauk Trail, which is a community we built in Coldwater which was wrapping up when

Exhibit B (3 of 3)

Lakeshore Flats was going through its approvals (Marc from Sign Center did the Sauk Trail sign for us also).

The Sauk Trail was a Native American trade route that connected Detroit to Chicago and ran through Coldwater. The top of the Sauk Trail sign is irregular and uneven because it's meant to be a visual representation of the path from Chicago to Detroit. The inclusion of the compass is in keeping with this navigation theme.

As we made the switch from Lakeshore Gardens to Lakeshore Flats and thought about developing an identify for Lakeshore Flats, it became clear that the symbolism embedded in the Sauk Trail design wasn't applicable. The concept that we're seeking approval for complements the signage that already exists throughout Lakeshore Flats in terms of fonts, style, imagery, and color scheme and is reflective of contemporary, upscale apartment living in a lakeshore community.

If you could please let us know if we're OK to move forward with the revised concept, I would appreciate it. Thanks in advance for your time and consideration, and feel free to give me a call with any questions.

Thanks,

Terry Nash | Managing Director

18000 Cove Street | Suite 201
Spring Lake, Michigan 49456
O: 616.604.2975
M: 616.406.4410

<Coach Road
Capital.jpg>

<Lakeshore Flats - Current Design.pdf>

<Lakeshore Gardens Signage (Sauk Trail Design).pdf>

Exhibit C: Lakeshore Flats Affordability Analysis Using MSHDA Formula (1 of 1)

Table 1: 100% of Ottawa County Median Income

Unit Type	Household Income	Monthly Housing Expense ¹	Monthly Utilities ²	"Affordable" Monthly Rent ³	Lakeshore Flats Rent	Lakeshore Flats vs. "Affordable"
Studio	\$58,800	\$1,470	\$68	\$1,402	\$700	(\$702)
1 Bedroom	\$63,000	\$1,575	\$79	\$1,496	\$995	(\$501)
2 Bedroom	\$75,600	\$1,890	\$111	\$1,779	\$1,219	(\$560)

Table 2: 70% of Ottawa County Median Income

Unit Type	Household Income	Monthly Housing Expense ¹	Monthly Utilities ²	"Affordable" Monthly Rent ³	Lakeshore Flats Rent	Lakeshore Flats vs. "Affordable"
Studio	\$41,160	\$1,029	\$68	\$961	\$700	(\$261)
1 Bedroom	\$44,100	\$1,103	\$79	\$1,024	\$995	(\$29)
2 Bedroom	\$52,920	\$1,323	\$111	\$1,212	\$1,219	\$7

¹ MSHDA defines "affordable" as a total housing expense of up to 30% of monthly income.

² MSHDA Utility Allowances - Region C.

³ Rent calculated as monthly housing expense less utilities.

Our 1-bedroom units are affordable for households earning \$44K. A household of two minimum wage earnings would need to average a \$0.50 per hour pay increase per person to make our 1-bedroom units affordable

Our 2-bedroom units are affordable for households earning \$53K.

Our studio units are affordable for households earning \$31K, or 52% of county median income.

Exhibit D: Rent Comparison – Lakeshore Flats, Piper Lakes, & TimberView (1 of 1)

Having an affordable option at a higher price PSF is far better than not having that option at all

Table 1: Monthly Rent

Unit Type	Lakeshore Flats (Market)	Lakeshore Flats (Gracious Grounds)	Piper Lakes	Timber View
Studio	\$700	-	Not Offered	Not Offered
1 Bedroom	\$995	\$850	\$965	\$786 - \$1,064
2 Bedroom	\$1,195 - \$1,219	\$1,100	\$1,275 - \$1,345	\$925 - \$1,331

Table 2: Apartment Square Footage

Unit Type	Lakeshore Flats (Market)	Lakeshore Flats (Gracious Grounds)	Piper Lakes	Timber View
Studio	496	-	Not Offered	Not Offered
1 Bedroom	730	730	605	830 - 896
2 Bedroom	947 - 1,035	947 - 1,035	1,106	1,035 - 1,189

Table 3: Rent Per Square Foot

Unit Type	Lakeshore Flats (Market)	Lakeshore Flats (Gracious Grounds)	Piper Lakes	Timber View
Studio	\$1.41	-	Not Offered	Not Offered
1 Bedroom	\$1.36	\$1.16	\$1.60	\$0.95 - \$1.19
2 Bedroom	\$1.18 - \$1.26	\$1.06 - \$1.16	\$1.15 - \$1.22	\$0.89 - \$1.29

Staff excluded the Piper Lakes 1-bedroom data point from its analysis despite including the 2-bedroom information. Including it invalidates Staff's claims that our PSF rents are exorbitant.

Staff made no adjustment for the 80% of TimberView units that are more than 15 years old. It's likely that the 2-bedroom leasing for \$1.29 is in one of the buildings that was recently added. It turns out our rents compare quite favorably.



**Exhibit E:
Housing Next
Support Letter
4.19.2018
(1 of 2)**

April 19th, 2018

Grand Haven Township
13300 168th Ave
Grand Haven, MI 49417

To the Planning Commission and Board of Grand Haven Charter Township;

This letter is regarding the proposed apartment development submitted by Main Street Capital in Grand Haven Township.

Housing Next is a nonprofit organization created to advance the goal of providing for more housing choice and affordability across Ottawa County. We were created in October of 2017 by a partnership between the Community Foundations of Grand Haven Area and the Holland/Zeeland Area and we work in partnership with the United Way, Lakeshore Advantage, both regional Chambers of Commerce, Ottawa County and the Lakeshore Non-Profit Alliance. Our mission to create an environment in which market-based solutions to housing affordability are available to the private sector. Main Street Capital is one of the first partners to help us work toward that goal.

Due to a significant shortage of new construction over the last 10 years, combined with a very limited set of housing options county-wide, the price of housing is no longer attainable for much of our workforce. As of 2017, more than 48% of the Ottawa County workforce travelled in from other communities, partly because our factory workers, teachers and public safety employees are unable to afford the housing that is available in the communities where they work. We have heard from numerous employers in the community who have cited housing affordability as one of their top three concerns related to their ability to attract new workers and grow in the future.

The proposal submitted by Main Street Capital includes several apartment units that fall below the minimum square footage requirements for a dwelling unit under Grand Haven Township zoning standards. As a former city planner and local zoning administrator, I fully understand the rationale and intention behind those regulations. At the same time, **a minimum size requirement for an apartment will inevitably result in a minimum monthly rent that is higher than it would otherwise need to be.** The cost of construction is directly tied to the number of square feet being built.

The average household size in Grand Haven and Spring Lake is 2.1 persons per home. Nearly 28% of all households are made up of a single adult without children. And yet, minimum dwelling sizes that are above industry standards demand that even single adults must have a home that is sometimes larger than necessary.



Housing Next is strongly in favor of allowing for smaller housing sizes and more housing choices in appropriate contexts across the County. Our understanding is that Main Street Capital is proposing units ranging from 496 square feet and up. This size unit is an industry-wide best practice for efficiency floor plans and is in very short supply in the Grand Haven / Spring Lake market. We are glad to support Main Street Capital in their request for a slightly smaller unit size than is normally permitted in order to achieve greater affordability and broader choice in the market. We hope that you will consider support for their request.

Sincerely,

Ryan Kilpatrick

Ryan Kilpatrick,
HOUSING NEXT, Executive Director
ryank@housingnext.org

MEETING MINUTES
JOINT PLANNING COMMISSION MEETING WITH
GRAND HAVEN CHARTER TOWNSHIP AND
CITY OF GRAND HAVEN
FEBRUARY 13, 2018

**Exhibit F:
Joint PC
Meeting
Minutes
2.13.18**

I. CALL TO ORDER

Von Tom called the meeting of the Joint Planning Commission to order at 6:00 p.m. **(1 of 4)**

II. ROLL CALL

City Members present: Von Tom, Dieters, Dora, Ellingboe, Cummins, and Skodack

City Members absent: Cramer, Crum, and Runschke

Twp Members present: Cousins, Taylor, LaMourie, Wagenmaker, and Chalifoux

Twp Members absent: Kieft, Wilson, Reenders, and Hesselsweet

Also present: City Community Development Manager Howland, Township Community Development Director Fedewa, and Township Assistant Zoning Administrator Hoisington

Without objection, Von Tom instructed Fedewa to record the minutes.

III. PUBLIC COMMENTS – None

IV. NEW BUSINESS

A. Presentation & Discussion – Robbins Centre Pointe – Commercial PUD

Engineer Justin Longstreth, Architect Jim Ramey, and Developers Bill Bowling and Bill Mast, were present and available to answer questions.

Discussion points between all parties included:

- Engineer Longsteth provided an overview of the proposed development.
- Goal of beginning earthwork and construction in April, with completion of first building by year-end.
 - All underground infrastructure and asphalt will be completed this year.
 - Multi-tenant retail building is likely to house 12 tenants, but possible that some may acquire second suite for double occupancy, so the number may change.
 - Building will have rear entrances with landscaping.
 - Drive-thru along rear wall is for marketing purposes, and may, or may not be constructed.
 - All site lighting will be downcast and sharp cutoff.
 - Remaining buildings will be developed based on market demands, but are actively pursuing tenants.
- Anticipated review and approval process is as follows:

Exhibit F (2 of 4)

- 2/19/18 – public hearing with Township Planning Commission
- 3/12/18 – public hearing with Township Board + first reading of rezoning
- 3/26/18 – formal approval with Township Board + second reading of rezoning
- The traffic study has conclusions identified for the project site and for the adjacent roads.
 - Project site – dedicated right-turn/deceleration lane for main entrance on Robbins Road. Along with a full access three-lane entrance.
 - Adjacent roads – signal timing adjustments, and additional right turn lane onto NB US-31.
 - Prelim and final traffic study have differentiation on this turning lane. Prelim says a through-lane and two right-turn lanes are needed. The final says a through/right-turn lane plus one dedicated right-turn lane would suffice.
 - MDOT has indicated they will not revise signal timing or begin conversations about adjusting lanes until the area is fully built out and actual traffic count data warrants the improvements. Further, it appears they will no longer permit combined through/right-turn lanes.
- Proposing 4 curb cuts, rather than the current conditions of one continuous curb cut.
- Will revise truck circulation plan to include ingress/egress movements.
 - Robbins Road and 172nd Avenue are both dedicated truck routes and can support the weight of heavy truck traffic.
- Driveway alignment with Walgreens to the north has raised concerns. The developer offers the following comments:
 - Alignment would result in a non-viable building site where a restaurant is currently proposed. It would be a “dead area.”
 - Must balance construction with maintaining access to Pizza Hut until they move into the new suite, and also have the main entrance built and ready for use at the same time.
 - Alignment with Walgreens would cause the main entrance to be mere feet from the Pizza Hut entrance, which is problematic for a myriad of reasons.
 - According to the traffic study the majority of traffic will be traveling eastbound and making a right-in turn movement.
 - Current location of the main entrance provide good sight lines to each business giving them all visibility from the main roads, which is a key marketing tool.
 - It is difficult to align driveways to the north side of the road because there are nonconforming curb cuts in existence.
 - The City Planning Commission offered the suggestion of providing a right-in/right-out entrance on Robbins Road to prevent left-in/turn conflicts.

Exhibit F (3 of 4)

- A Township Planning Commissioner expressed concern over the placement. Wants to protect the recommendation in the corridor plan for alignment. Understands the struggles for the developer but believes the site is a clean-slate and alignment should be provided and this is the opportunity to enforce that recommendation.
- The City Planner indicated the site plan needs to be revised to show the new entrance design, which will enable them to review the proposal and find a compromise.
- Numerous attempts were made to realign Whittaker Way with DeSpelder Street, which is a main goal of the Robbins Road Corridor Plan.
 - Developer made numerous offers to the adjacent property owner, but could not find common ground.
 - Township and City staff met with the adjacent property owner as well and attempted to find common ground, but were also unsuccessful.
- A brief review of the proposed 425 Agreement was provided.
- An easement/cross-connection needs to be provided to the adjacent property to the west.
- Snow management during winter will be provided in the green space areas that would be used for stormwater disposition and landscaping during the other seasons.
- Sidewalk with street trees that meet City requirements are being provided.
- City requests that bike racks be added, and it was suggested that dog tie-ups be included too.

B. Presentation & Discussion – Apartments at Robbins Road – Mixed Use PUD

Engineer John Walsh, and Developers Ben Robbins and Terry Nash were present and available to answer questions.

Discussion points between all parties included:

- Engineer Walsh provided an overview of the proposed development.
- **Estimated rental prices are \$800 - \$1,100 per month.**
- Only one entrance is identified, which could be problematic for a number of reasons including accidents, emergencies, and convenience.
- Additional entrances were recommended including a connection to the western retail property.
- It was noted the two commercial lots (*noted as A-1 and A-2 on the site plan*) are not part of the PUD application and would be developed independently.
 - The curb cut shown for these lots is currently existing, and is intended to be used for the future development of these lots.

Exhibit F (4 of 4)

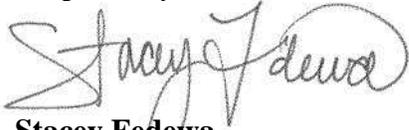
- Request that sidewalks be provided to the apartment complex to the south, and along Robbins Road with a connection to the nearby school.
 - Sidewalk extension in that area is a goal of the Township as well, and are currently working towards implementation.
- It was noted a 425 Agreement is not desirable for this project. That would cause the project to be taxed at the City's millage rate, and that additional cost would likely be passed along to the tenants via increased rental rates. If the intention is for this site to provide affordable rental rates, then a 425 Agreement is not recommended.
- May be issues with driveway placement as they relate to the traffic study and City access management standards.

V. EXTENDED PUBLIC COMMENTS – None

VI. ADJOURNMENT

Without objection, the meeting adjourned at 6:58 pm.

Respectfully submitted,

A handwritten signature in black ink that reads "Stacey Fedewa". The signature is written in a cursive, flowing style.

Stacey Fedewa
Acting Recording Secretary



**Exhibit G: Staff Memo
to Planning
Commission
5.31.2018
(1 of 11)**

Community Development Memo

DATE: May 31, 2018
TO: Planning Commission
FROM: Stacey Fedewa, Community Development Director
RE: Lakeshore Gardens – PUD – Multifamily Apartment Complex

BACKGROUND

As you likely recall, this development was originally proposed as affordable apartments that included storage units. That concept fell through, and the developer is proposing a similar project that is more in tune with the Township's master plan.

PROPOSED PROJECT

The storage units are no longer part of the proposal. Instead, a sixth apartment building with efficiency units is proposed in its place. Specifically, the following is being offered:

- 6 apartment buildings
 - 4 buildings with 24-units
 - 2 buildings with 30-units
- 156-units in total
 - 12 – 1b/1b – 496 sqft (*see letter from Housing Next*)
 - 39 – 1b/1b – 730 sqft
 - 12 – 2b/2b – 947 sqft
 - 87 – 2b/2b – 1,035 sqft
 - 6 – 2b/2b – 1,070 sqft
- 318 parking spaces
 - 94 enclosed garage spaces
 - 224 surface spaces
- 2.5-acres of open space is being preserved (*or 21.88%*) or the 11.47-acre site

Please be sure to read the project narrative from the developer, which provides in depth information about the rental market in the greater Grand Haven area along with floor area comparisons with other complexes.

Affordability

It should be noted—the developer is no longer promoting “affordable” apartments. Rather, they intend to address “affordability” in two ways:

1. The 496 sqft efficiency apartment will undoubtedly bring a lower price based on the floor area. The initial assumption based on conversations with the developer is the rental price will begin at around \$600.
2. The developer is providing amenities, but not luxury amenities such as Piper Lakes. Therefore, the units themselves will bring a lower price point.

Ultimately, **no guarantees are being made for the rental prices**, but the developers have designed the project in such a way to enable them to offer lower prices than their competitors.

Ottawa Housing Next

The Executive Director of the Ottawa Housing Next program has provided a letter of support for the project. The Director met with the developers and provided a variety of ideas to bring more affordability to Grand Haven. Floor areas as low as 350 sqft were discussed, but settled on the 496 sqft floor plan. The 12 efficiency apartments would only be found in Building F.

Gracious Grounds

Gracious Grounds has also offered a letter of support for the project. It was noted in previous meetings the developer intended to provide units and/or a building to Gracious Grounds to enable individuals with unique abilities to live independently in our community.

That is still the intention, however, there are too many variables at this time to make promises to the Township. That said, you’ll notice in the letter that Gracious Grounds has been working closely with this development group on other projects, and fully expect that it will carry over to the proposed Lakeshore Gardens too, it’s just a matter of when.

Connectivity

The developer has successfully negotiated two cross-access points with the adjacent D&W complex—a secondary access and sidewalk south of the D&W building, and another access point where the future A-1 and A-2 commercial lots will be developed (*recall A-1 and A-2 are not part of the PUD application*).

DEPARTURE REQUESTS

Departure requests are extremely minimal—there are only two.

Section	Requirement	Developer Request	Staff Notes
24.04.1	Maneuvering lanes in parking lots shall be 24-feet in width.	Requesting a 35-foot width in front of the garage buildings to enable easier turn movements.	<p>Request is not unreasonable, however, the argument made in the departure narrative is in reference to a wheelchair accessible van, but the illustration provided to show the circulation difficulty is of an average passenger vehicle. All three complexes in the Township have garages and 24-foot maneuvering lanes and are functional.</p> <p>The PC will need to determine if the explanation is sufficient to warrant the departure, or if additional evidence such as an illustration of a wheelchair accessible van be provided. It is noted that staff urged them to provide that illustration on three occasions prior to the hearing.</p>
21.02	Minimum floor area for apartments shall be 884 sqft	Requesting a reduced floor area for 51 of the units—12 at 496 sqft and 39 at 730 sqft	<p>Staff supports the request for the following reasons:</p> <ul style="list-style-type: none"> • The developer has provided compelling comparisons of other apartments. • Staff found an old memo from the mid-90’s recommended floor areas be increased because that was the current trend in the housing market. Thus, it was simply based on trends, and the current trend is smaller floor areas. • Ottawa Housing Next supports the floor areas. • The Township’s consultant for the new zoning ordinance has indicated a “rule of thumb” for apartment floor areas is—500 sqft for general living area + 200 sqft/bedroom. That is consistent with the developer’s proposal and departure request.

Transitional Screening

Section 20.11.5 enables the Township Planning Commission to temporarily waive certain transitional screening requirements if adjacent residential structures are setback more than 200-feet. The waiver ends when a residential structure is built within 200-feet and then the developer would be required to plant the screening. Currently, the nearest structure is almost 1,000-feet away from the boundary line of the proposed development.

ISSUES AT HAND

Environmental Study

Staff received a message advising the Township that contamination may be present on the property based on the use and history of the business. It was suggested that various petroleum products had leaked, underground storage tanks were present, unpermitted septic systems were installed, etc.

Based on that advisory, staff contacted the developer and requested an environmental assessment. In response, the developer explained as part of their due diligence an Environmental Impact Study (EIS) – Phase 1 was conducted, but was not complete and the final report was not ready to be provided to the Township. This EIS was performed at the same time as the traffic study, which was done in Sept/Oct 2017.

After discussing with other colleagues, the following was learned:

- A Phase 1 EIS only takes a couple of weeks, at most, to complete.
 - Phase 1 will not identify contamination, but rather indicate that certain findings on the site warrant a Phase 2 to determine if contamination exists.
- Based on the historical use of the property, undoubtedly a Phase 2 EIS would be required.
 - Similarly, a Phase 2 does not take an extraordinarily long time to complete. Perhaps the Phase 2 EIS did not begin until recently, but staff is unsure.

The developer claims no contamination has been found, if anything is found in the Phase 2 EIS it will be corrected and addressed through the DEQ—and should not be considered as part of the PUD application by the Township

Ultimately, despite many conversations the developer has refused to provide any documentation related to the EIS. There are two Sections of the Zoning Ordinance that specifically authorize the Planning Commission and Township Board to require this type of study and formulate conditions based upon the results of that study:

- Section 23.06.4 – the site plan or other materials shall also include any **additional information which may be requested by the Planning Commission to assist in its review**

of the proposed use and the effect of the proposed use on neighboring uses, structures, and public facilities, public utilities, and public infrastructure. Such additional materials may include, but are not limited to, a traffic impact analysis, **environmental impact**, engineering analysis, soils analysis, and topographical survey.

- Section 17.04.4 – the Township Board may impose reasonable conditions in conjunction with the approval of a PUD to ensure that the foregoing standards and requirements are satisfied. Conditions imposed shall also be designed to protect natural resources, the health, safety, and welfare of those who will use the land use or activity under consideration, residents and landowners immediately adjacent to the proposed land use or activity, and the community as a whole; and be related to the valid exercise of police power and purposes which are affected by the proposed use or activity.

The lack of transparency to provide even the Phase 1 EIS raises many red flags for staff and Township as a whole. Without reviewing the documentation, the Township cannot know, or assume, that contamination does not exist.

The “what if” questions come to mind—what if there is contamination and certain areas cannot be built upon; what if it’s actually a superfund site; what if it was contaminated and has plumed to other areas and affected adjacent properties. What if’s are always a concerning subject.

Based upon this significant lack of knowledge, and the unwillingness of the developer to divulge key environmental studies at this time—**staff is formally recommending the Planning Commission table the application until the Phase 1 and Phase 2 Environmental Impact Studies are completed and provided to the Township.**

That said, if the EIS’ do not find contamination there is no need to delay the project. Thus, staff is requesting the Planning Commission review this PUD application and make verbal findings, so when the matter is back on the agenda a motion making a formal recommendation along with a report of findings can be done (*that is, assuming no contamination exists that affects the site design*).

Conceptual Approvals

The developer has still not provided correspondence from the City of Grand Haven or the Ottawa County Water Resources Commissioner giving conceptual approval of the plans.

Due to this, staff forwarded the current set of plans to both agencies. However, at the time of this memo the only response that has been received is from the City’s Community Development Manager indicating the driveway spacing standards are compliant with their zoning ordinance. That said, staff is still in need of conceptual approval from the City’s DPW Director and the OCWRC.

Because staff is recommending this application be tabled, it is recommended this item be listed as a requirement prior to returning to the Planning Commission.

Site Plan Corrections from Staff Reviews

In the latest staff plan review memo dated May 4th the Fire/Rescue Department and Community Development Department identified the following items that needed to be revised, or added. However, they were not addressed in the most recent set of plans. Thus, staff is recommending these items also be added to the list of revisions under the motion to table the application:

1. Increase the width of the main drive aisle to 30-feet (*from boulevard to corner south of clubhouse*).
2. Add at least 1 – 2 more dumpster locations. Only two exist—near the clubhouse and between Buildings C & D near the eastern edge of the development. It's simply not enough refuse containers for this many dwelling units, and the distance for residents to travel to dispose of their refuse is too far.
 - a. One should be placed near Building F, and another near the western walls of Buildings A/B.
3. Although technically, the architectural variety is met when viewing the site plan, but when viewing the renderings, the front of the buildings are lack-luster. In fact, the rear of the buildings appear to have more interest. Perhaps the Planning Commission will feel the same way and direct the applicant to provide more visual interest to the front of the buildings. However, such a requirement should be weighed against the cost involved because it has a direct correlation to the rental rates that will be offered for the units.
4. The developer's circulation plan appears to show a commercial truck could not make the turn into the future A-1 and A-2 commercial lots (*recall these are not part of the PUD, but planning is all about solving problems before they occur*). The developer must consider shifting that driveway stub to the south in order to allow successful truck-turning movements.

STAFF RECOMMENDED MOTION

Staff recommends the Planning Commission adopt the following motion and require certain revisions to the PUD application along with submitting additional documentation:

Motion to table the Lakeshore Gardens PUD application, and direct the applicant to address the following:

1. Provide a complete and full Environmental Impact Study, including but not limited to—Phase 1, Phase 2, and any other documentation from the environmentalist such as a remediation plan.
2. Provide written documentation from the City of Grand Haven DPW Director that conceptually approves the proposed access points onto Robbins Road.

3. Provide written documentation from the Ottawa County Water Resources Commissioner that conceptually approves the proposed stormwater management system.
4. Increase the width of the main drive aisle to 30-feet from the boulevard to the curve adjacent to the clubhouse.
5. Add another dumpster enclosure near Building F.
6. Add another dumpster enclosure on the west side of Buildings A/B.
7. Shift the driveway stub to A-1 and A-2 to the south, or provide a circulation plan that shows a commercial vehicle can successfully complete the required turning movements.
8. Add more visual interest to the front of the apartment buildings (*if Planning Commission makes this finding*).

OTHER SAMPLE MOTIONS

If the Planning Commission finds the Lakeshore Gardens PUD application meets the applicable standards, the following motion can be offered:

Motion to direct staff to draft a formal motion and report, which will recommend **conditional approval** of the Lakeshore Gardens PUD application, with those Zoning Ordinance compliance departures which were discussed and will be reflected in the meeting minutes. This will be reviewed and considered for adoption at the next meeting.

If the Planning Commission finds the Lakeshore Gardens PUD application does not meet the applicable standards, the following motion can be offered:

Motion to recommend the Township Board **deny** the Lakeshore Gardens PUD application, and direct staff to draft a formal motion and report with those discussion points which will be reflected in the meeting minutes. This will be reviewed and considered for adoption at the next meeting.

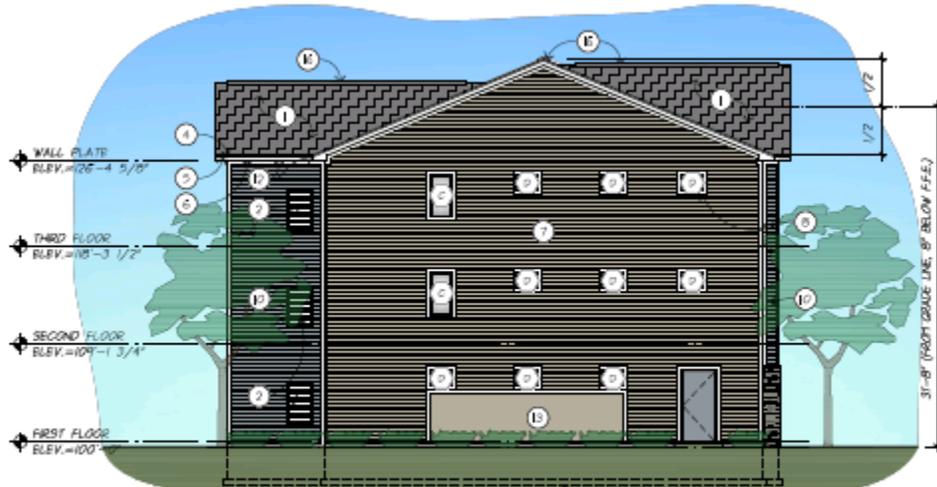
Please contact me if this information raises questions.



FRONT ELEVATION - BUILDINGS A, D & E
SCALE: 1/8"=1'-0"
24 UNIT



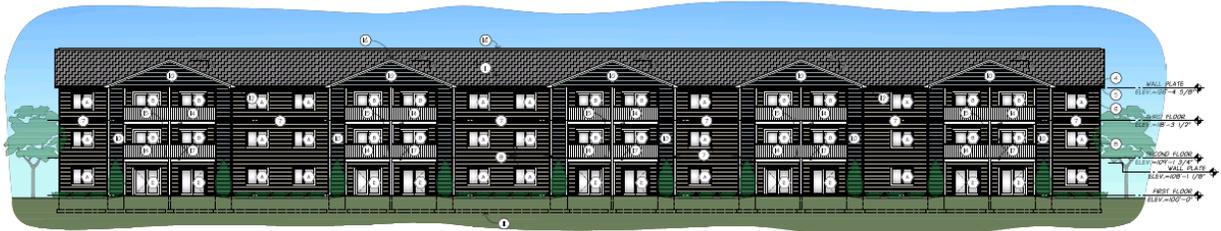
REAR ELEVATION - BUILDINGS A, D & E
SCALE: 1/8"=1'-0"
24 UNIT



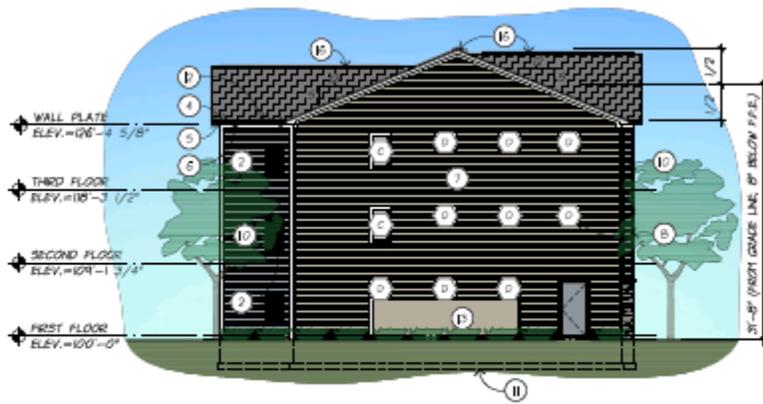
LEFT SIDE ELEVATION - BUILDINGS A, D & E
SCALE: 1/8"=1'-0"
NOTE: RIGHT SIDE SIMILAR - OPPOSITE HAND
24 UNIT



FRONT ELEVATION - BUILDINGS B & C
SCALE: 3/32"=1'-0" 30 UNIT



REAR ELEVATION - BUILDINGS B & C
SCALE: 3/32"=1'-0" 30 UNIT



LEFT SIDE ELEVATION - BUILDINGS B & C
SCALE: 3/32"=1'-0" 30 UNIT
NOTE: RIGHT SIDE SIMILAR - OPPOSITE HAND



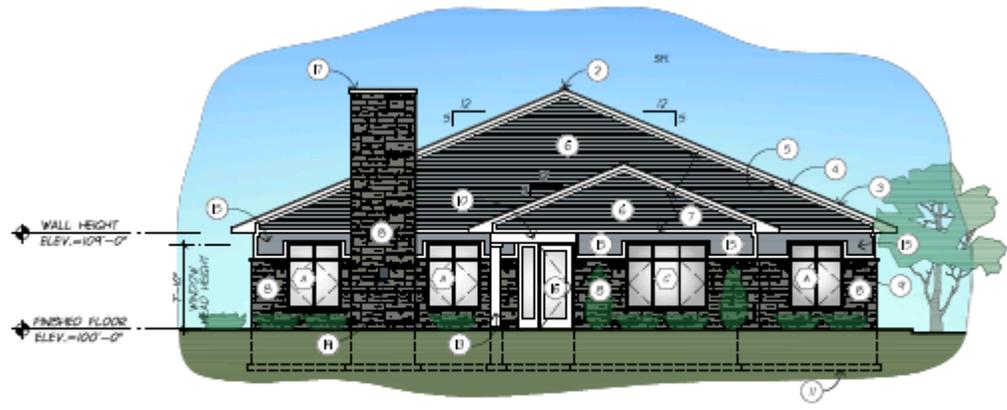
FRONT ELEVATION - BUILDING 'F'
SCALE: 1/8"=1'-0"
24 UNIT



REAR ELEVATION - BUILDING 'F'
SCALE: 1/8"=1'-0"
24 UNIT



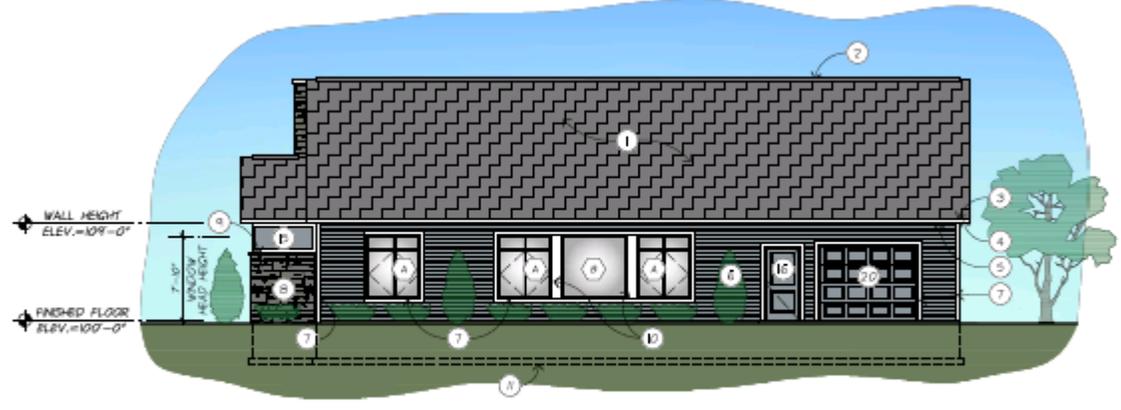
LEFT SIDE ELEVATION - BUILDING 'F'
SCALE: 1/8"=1'-0"
24 UNIT
NOTE: RIGHT SIDE SIMILAR - OPPOSITE HAND



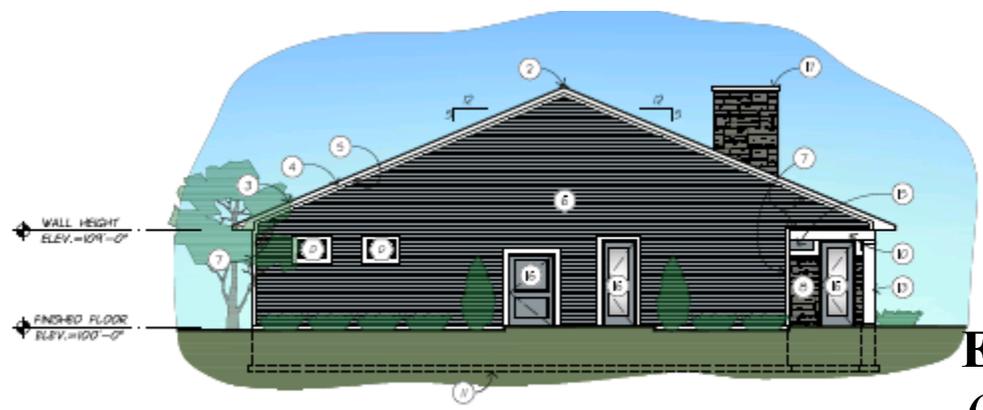
WEST ELEVATION - COMMUNITY CENTER
SCALE: 1/8"=1'-0"



NORTH ELEVATION - COMMUNITY CENTER
SCALE: 1/8"=1'-0"



SOUTH ELEVATION - COMMUNITY CENTER
SCALE: 1/8"=1'-0"



EAST ELEVATION - COMMUNITY CENTER
SCALE: 1/8"=1'-0"

Exhibit G
(11 of 11)



Exhibit H:
Staff Plan Review
Comments No. 2
2.16.2018
(1 of 8)

Community Development Memo

DATE: February 16, 2018

TO: Chad Bush; Ben Robbins; Terry Nash

CC: Brian Sinnott; Mark Oppenhuizen

FROM: Stacey Fedewa, Community Development Director

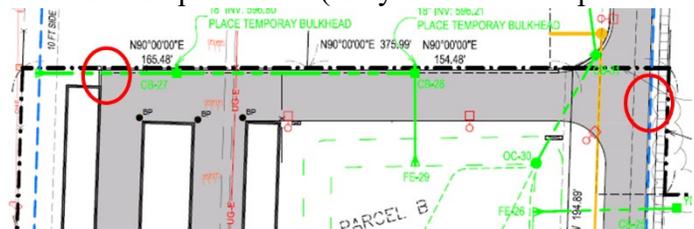
RE: Apartments at Robbins Rd – PUD – Staff Review Comments No. 2

As required by the Grand Haven Charter Township Zoning Ordinance (Section 23.05), prior to the submission of the site plan to the Planning Commission the plans shall be reviewed by the Community Development Department, Fire/Rescue Department, and Public Services Department to determine whether the site plan complies with the requirements of all applicable state and federal laws and regulations, and with the requirements of all applicable Township Ordinances, resolutions, regulations and policies.

FIRE/RESCUE DEPARTMENT

Fire/Rescue does not approve the plans dated 2/7/2018, and offer the following comments:

- Plans shall identify compliance with IFC 2012 and NFPA 101 2012
- a careful review of IFC chapter 5 should be done specifically section 503 and 507. **Please revise the main drive entrance to a width of 30' from the boulevard to the eastern curve at the Clubhouse. As well as construct a second entrance at the dead end between Buildings A & C to connect to 17034 Robbins Road. Staff is optimistic this through-connection can occur at time of initial construction because the property is owned by Riverwood Company LLC, which appears to be managed by the father of one of the development team members. This will require a shared access and maintenance agreement.**
- the boulevard road width doesn't meet IFC requirements (chapter 5 section 503 identifies the requirements for fire department access roads) **See above regarding the 30' width increase.**
- number of fire hydrants provided doesn't meet IFC requirements (A hydrant must be provided near the proposed self-storage units) **Two additional hydrants are required around the storage buildings, see adjacent drawing that show the approximate location.**



- the dead end between building C & A doesn't meet IFC requirements (Appendix D in the IFC provides examples of acceptable turnarounds) This requirement is only satisfied by the connection to 17034 Robbins.

PUBLIC SERVICES DEPARTMENT

Public Services approves the plans dated 2/7/2018, and offer the following comments:

WATER

- Given the number of units in each building, a 1-inch will not be sufficient. Based on fixture calculations, propose a properly sized water service. Approved as submitted, although there is no supporting data provided to substantiate the increase in size to the services shown.

SEWER

- Buildings "C" and "D" are shown tight against the sanitary easement. In the event of a failure of the sewer, the building foundation will likely be impacted. Consider moving the buildings to the west, away from the sanitary easement. Not submitted as requested, although not required.
- A point of note—in order to serve Lot A-1, the public sewer must be extended west across Lot A-2 in a public easement to a point the public easement touches Lot A-1. It may be best to complete this extension now, rather than later.

COMMUNITY DEVELOPMENT

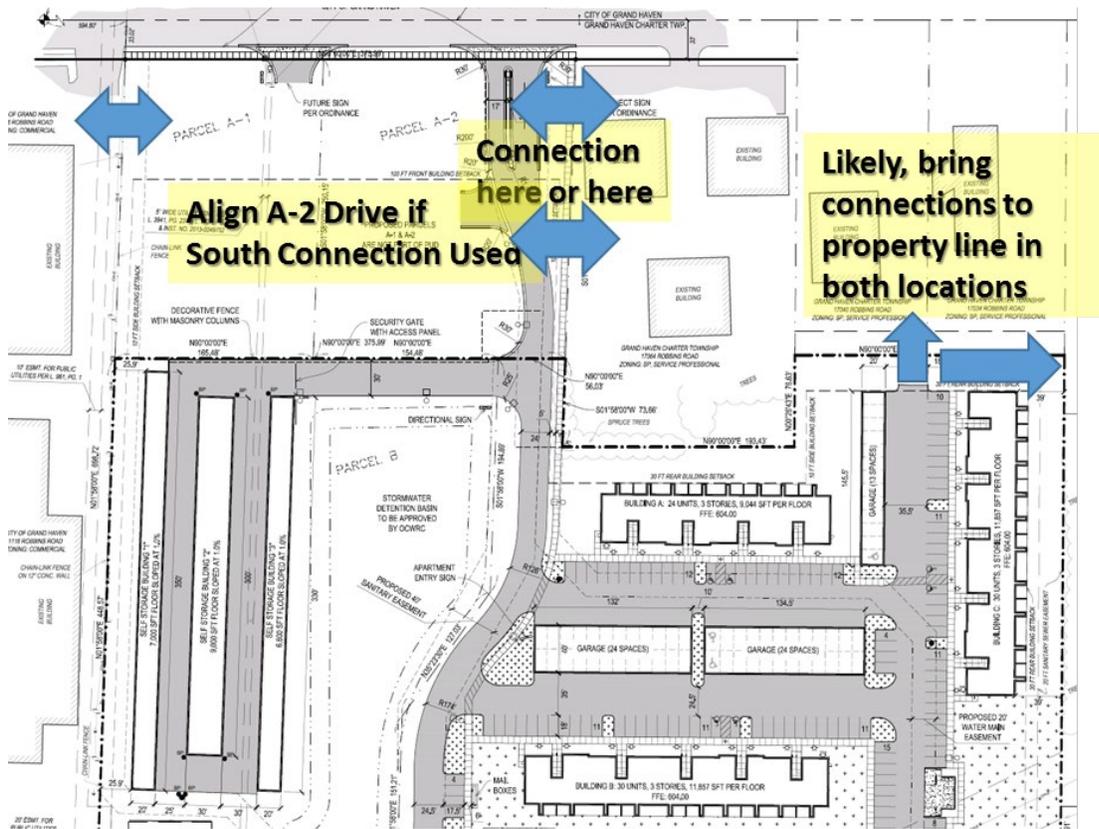
Community Development conditionally approve the plans dated 2/7/2018, and offer the following comments:

GENERAL COMMENTS

- To ensure this project has long term compliance with the spirit and intent of this development, specific details will need to be determined between all parties. These will be recorded within the approvals. For example, items that need to be determined:
 - Gracious Grounds: specific building, or number of units dedicated to these tenants.
 - Accessibility: the initial representation provided in the pre-application has not come to fruition on the plans. Specific items need to be defined, and codified into the project. Simply providing pocket doors and additional ADA parking spaces does not reach the level initial proposed.
 - To ensure long term affordability of these specific apartment types a "rent control" needs to be provided.
 - Giving self-storage rental priority to tenants over third-parties, and a number or percentage must be identified.
 - A plan to raze the existing self-storage units on 172nd must be provided.
 - It should be noted that Housing Next and the Neighborhood Housing Services programs have reached out to the Township to participate in this project as it relates to universal design and affordability. Likely, a joint meeting will need to be had between all relevant parties.

- Based on the Fire/Rescue requirement to increase the road width, which will impact the detention basin, staff is willing to support a request to allow some of the designated open space within the site to be used for stormwater disposition to supplement the impact of the road width and giving the basin a natural shape.
- The landscape plan has far too much detail and reference points. It appears each building is proposed to have about the same landscaping. Please remove all reference points to the building landscaping and then include a separate sheet for the “typical landscaping” for each building. Next, rather than having arrows drawn to each plant cluster please convert that information into a table that includes type, quantity, minimum size, and then a code or symbol for that plant that is referenced back to the landscape plan. Thank you for providing a “typical” sheet for the apartments. However, the information needs to be compiled into a table.
- There need to be easements provided for future connections to adjacent properties to allow for internal cross-connections. Per City and Township Joint PC Meeting comments—easements and/or physical connections will be provided to adjacent property. See image below for the adopted Joint Corridor Plan.
 - Add a sidewalk adjacent to the fence line for the self-storage units up to the property line, to provide a universal design impact for the anticipated tenants to have direct pedestrian access to the adjacent commercial property.
 - I discussed this with one of the members of the LLC that owns the adjacent property. He appeared willing to allow the two connections, but will ultimately have to get approval from the rest of the owners, and a formal request from the development team will need to be provided.





PLANNED UNIT DEVELOPMENT (CHAPTER 17)

- 17.03.3.B.1 – include a schedule of total land areas devoted to each type of use, number and types of units, and building ground coverage.
 - An additional table needs to be included with this information. For example, how many different floorplans with square footage; the total number and size of the storage units; a compilation of all ground coverage that shows a total rather than having to individually add it up from each building. **The information, as requested, is not provided. It is unknown how many floor plans are proposed, how many units are dedicated to each floor plan. For example, I do not know if you’re proposing 131 units at 730 sqft and only 1 at 1,070 sqft. On sheet C-103 you shall add another table detailing this information.**
- 17.05.1.A – the design of stormwater management systems and drainage facilities shall be consistent with the groundwater protection strategies of the Township.
 - Overall stormwater systems shall be designed to use “best management practices: and create the appearance of a natural pond or feature including gentle (5:1) or varying side slopes, irregular shapes, water tolerant grasses and seed mixes at the bottom of the pond/basin; appropriate flowers, shrubs and grasses along the banks based on environment (wet, dry, sedimentation basin v. pond) to improve views, filter runoff and enhance wildlife habitat. **Not corrected. Adjust the shape of the basin to provide a natural appearance.**
- 17.05.1.G – street lighting shall be installed in the same manner as required under the Township’s Subdivision Control Ordinance.

- 5.4.11 – decorative street lights shall be installed at all intersections, curves, cul-de-sacs, dead-end streets and at such other locations as the Township Board in its discretion reasonably requires. Pole mounted fixtures are still not decorative. Revise.
 - Based on staff review it appears only 11 pole mounted figures are required, but 17 are proposed. See image for required locations on last page. See outdoor lighting section for more details.
- 17.05.2.A – the proposed buildings within the PUD, including consideration for bulk, placement, architecture, and type of materials shall be compatible with like buildings within the PUD as well as generally compatible with buildings in the general vicinity.
 - The proposed storage units are not compatible. Please make the appropriate improvements. Regardless of adjacent uses (*which could change at any moment*), the architectural and building material requirements stand. Furthermore, a specific promise was provided in the pre-application conference, and the Township expects that representation to be satisfied. Stone pillars with brown-tones were described in these meetings. Additionally, this use is not permitted in that location, in order for the Township to approve this type of use a benefit has to be provided. The only benefit that can be provided for this request is high quality materials and acceptable aesthetics. Staff does not expect the Planning Commission or Township Board to grant the departure request.
- 17.05.2.A.3 – buildings with exterior walls greater than 50 feet in horizontal length shall be constructed using a combination of architectural features and a variety of building materials and landscaping near the walls. There is no variety in building materials. The entire structures are solely comprised of siding. Add stone veneer to front walls of buildings similar to Timberview, and that would be acceptable. Anything less is not cohesive with any of the other 3 apartment complexes within the Township.
 - A portion of the clubhouse is proposing a stone veneer, but the east elevation, which is highly visible, either needs additional windows added or to carry the veneer through to this wall.
- 17.05.2.A.6 – the predominant building materials should be those characteristic of Grand Haven Township such as brick, wood, native stone and tinted/textured concrete masonry units and/or glass products. Other materials such as smooth-faced concrete block, undecorated tilt-up concrete panels, or pre-fabricated steel panels should only be used as accents and not dominate the building exterior of the structure. Metal roofs may be allowed if compatible with the overall architectural design of the building.
 - No information was provided for the storage units, but it appears the whole structure is made of pre-fabricated steel panels, which cannot dominate the appearance of the building. No changes made, likely to be required by the Planning Commission and Board.
 - During the pre-application meeting it was indicated the storage buildings would be of high quality with neutral colors, which would include decorative stone pillars on the ends facing Robbins Road.
 - A “decorative fence with masonry columns” is noted on C-103, but no other details are provided. Please note, this fencing cannot substitute the requirements for the buildings.
- 17.05.5 – open space conveyance draft has been forwarded to the attorney for review. Waiting for a revised draft to be provided.

PARKING, LOADING SPACES, AND SIGNS (CHAPTER 24)

- 24.04.7 – where the off-street parking lot is adjacent to any premises used for residential purpose in a district of R-4 or higher classification, the screening requirements of Section 20.11 shall be met. The following areas will be required to meet the screening standards. Specific information is listed below under General Provisions.
 - The 180’ area behind “Garage (14 spaces)” No screening was provided, it remains the same as the 1/16/18 plans. Revise in accordance with Section 20.11.
- 24.06 – signage
 - Please revise the styles of the project sign and directional sign to more of a monument standard. This is a high-quality development and these two signs do not reflect that quality. Staff will request the Planning Commission and Township Board review this item to make a determination on acceptability.

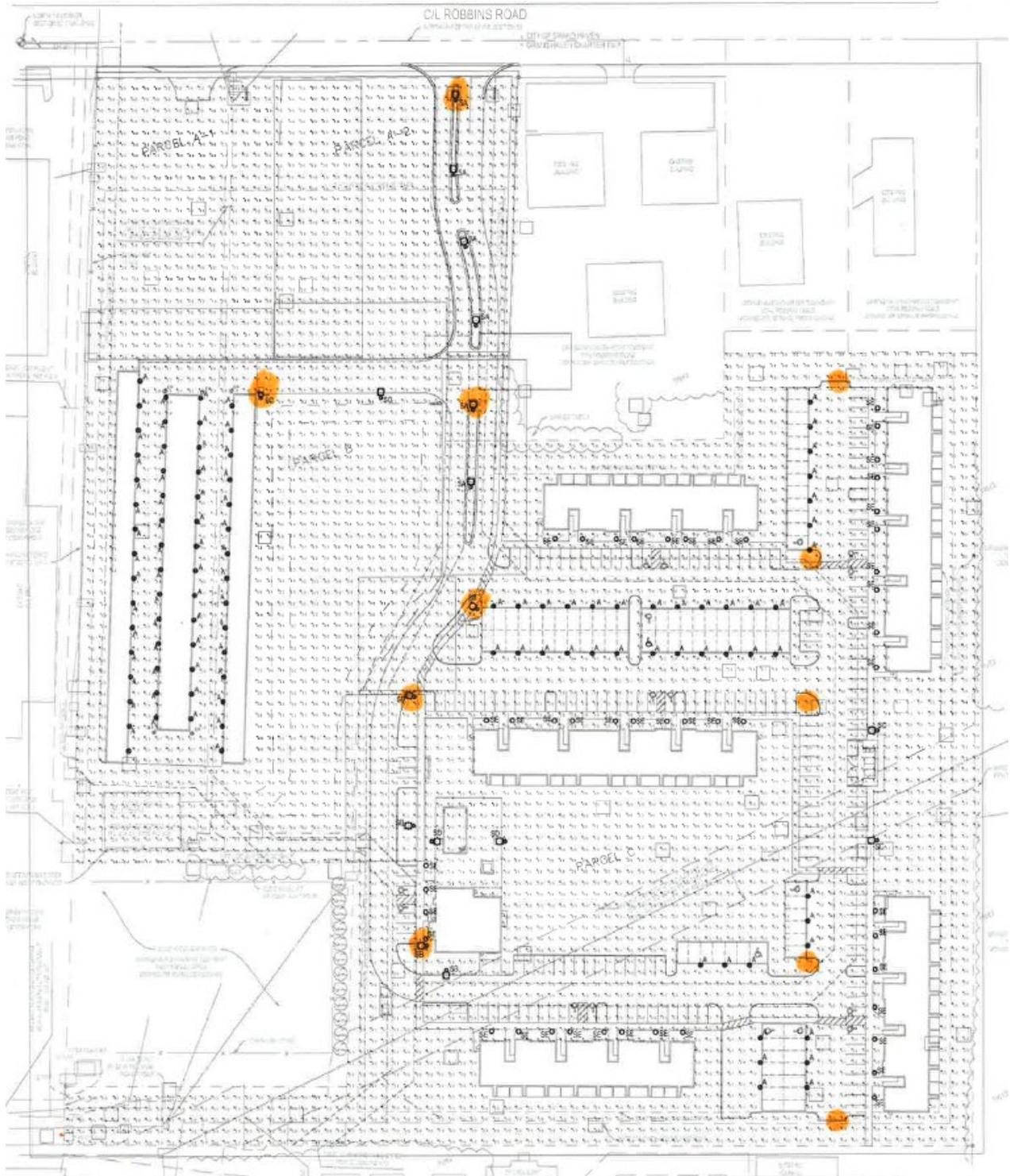
OUTDOOR LIGHTING REQUIREMENTS (CHAPTER 20A)

- Must include the number of lamps dedicated to each label in the schedule found on ES.1.
- 20A.9, Table 4 – the site does not comply with the Total Site Power Limits. Using a conversion method of LED to standard watts (*i.e., the methodology used when this regulation was developed*). Figures below are based on LZ3.
 - The parking lots and driveways for the apartments is compliant with the lamp allowance, however it is not compliant with the location requirements dictated by the Subdivision Control Ordinance. Revise placement per the sketch provided at the end of this memo.
 - Sidewalks and walkways for apartments = 2,580 watts / 6,375 sqft = 0.405
 - Lamp allowance is capped at 0.15
 - Driveways for self-storage = 5,900 watts / 20,940 sqft = 0.282
 - Lamp allowance is capped at 0.080
- Based on the figures above, the outdoor lighting is significantly higher than the ordinance allows. Reduce the number of fixtures to comply.
- 20A.7.5-6 – all canopy lighting must be fully recessed so the lamp does not extend below the lower plane of the canopy surface.
 - The P8222 fixtures appear to dip below the surface to which they’re affixed, and they must be fully recessed. Although the response to staff memo indicates there was a change to fixture P8222, it does not appear to be reflected on ES.1. Fixture must be fully recessed, as well as flush mounted.

GENERAL PROVISIONS (CHAPTER 20)

- 20.13 – landscaping
 - The Township’s desire is to use as many native species as possible, and also to avoid planting any invasive species (*if any are present*). It is to your benefit to identify any native species being utilized. Doing so, is one of the small benefits that can be provided to the Township to enable departures to be granted. It is recommended to identify any, and all, native species.
 - The minimum caliper size for an ornamental tree = 3”

- Several currently shown at 2” The Pink Spires Flowering Crab trees within the open space near the clubhouse continue to be shown at a 2” caliper.
- The minimum height for an evergreen = 6’
 - Spartan Juniper shown at 5’ The Junipers near the refuse station are still shown at 5’.
- Below, please see a drawing of where the landscape islands should be located within the parking lot—they’re just slight adjustments that should not affect your parking, but will improve the goal of breaking up the expanse of the asphalt. The spirit and intent of the landscape island provision is to place the vast majority (*i.e., around 75%*) of these islands within the interior of the parking lot. The current proposal places most of them around the perimeter. Staff will request the Planning Commission and Township Board review this item to make a determination on acceptability.



**Exhibit I:
Terry Nash
E-mail to Staff
re: Siding Color**

**6.26.2019
(1 of 1)**

Subject: Lakeshore Flats - Slight Modification to Siding Color
From: "Terry Nash" <tnash@coachroadcapital.com>
Sent: 6/26/2019 9:33:06 AM
To: "Stacey Fedewa" <sfedewa@ght.org>;
CC: "Jeff Senske" <JeffS@copperrockconstruction.com>; "Mark Oppenhuizen" <mark@oppenhuizenarchitects.com>;
BCC: tnash@coachroadcapital.com;
Attachments: Lakeshore Flats Siding.jpg

Good morning, Stacey,

We'd like to make a change to our siding color that I wanted to run past you. We have the siding up on 2 garages and part of Building E, but the tan color isn't exactly what we were envisioning. We'd like to switch to a bit of a darker shade, which is richer, creates nice contrast with the white trim, and is more in keeping with our original renderings.

Attached is a photo where you can see the current color (Sandy Tan) up against the darker shade we're planning to switch to. In the photo, you'll notice that the new color is called Teak...the actual color will be Toasted Almond, which is the same as Teak, just a different manufacturer. If it would be helpful, Mark can prepare a formal submission documenting the change from Sandy Tan to Toasted Almond for your files, but I was hoping to get a thumbs up from you beforehand to get a jump on things to keep our siding guys moving. Also...to clarify...all of the Sandy Tan that's already been installed will be removed and replaced with Toasted Almond.

Thanks, Stacey...if you could confirm that we're fine to proceed with the change, I'd appreciate it. Feel free to call to discuss.

Terry Nash | Director
18000 Cove Street | Suite 201
Spring Lake, Michigan 49456
O: 616.604.2941
M: 616.406.4410

